



Responsible Directorate	Development Services
Responsible Business Unit/s	Statutory Planning
Responsible Officer	Manager Statutory Planning and Compliance
Affected Business Units	Statutory Planning

Statutory Background

The Jarrahdale Townsite Precinct Heritage Area is designated as a heritage area in accordance with Clause 9 of Schedule 2 Part 2 (the deemed provisions) of the *Planning and Development (Local Planning Scheme) Regulations 2015*.

This local planning policy is adopted consistent with Clause 9(2) of the *Deemed Provisions*, which requires a local planning policy for each heritage area. In addition to the minimum requirements outlines in the *Deemed Provisions*, this policy identifies the contribution, or otherwise, of all places within the heritage area; and sets out planning controls that support conservation of the identified heritage values of the area.

Purpose

The purpose of the policy is to:

- Provide guidance on the assessment of heritage proposals for works affecting the heritage area;
- Ensure that development conserves, protects and celebrates places of cultural heritage significance in Jarrahdale;
- Provide improved certainty to landowners and the community about the planning processes for heritage places within the Jarrahdale Heritage Area; and
- Clarify the format and content of accompanying material in accordance with Clauses 63(1)(d) and 63(3), Schedule 2 of the *Planning and Development (Local Planning Schemes) Regulations 2015*.

Use of Terms

Unless otherwise noted, terms used in this policy have common meanings and include those defined in the *Planning and Development Act 2005*, *Planning and Development (Local Planning Schemes) Regulations 2015*, and the *Heritage Act 2018*.

- Fabric means all the physical material of the place.
- Impact means the manner in which proposed works will, or are likely to, affect the cultural heritage significance of a place.
- Significant fabric means fabric identified as contributing to the cultural heritage significance of the place.



- Cultural heritage significance means any heritage values including aesthetic, historic, scientific or social factors.

Application

This policy should be read in conjunction with State Planning Policy 3.5 Historic Heritage Conservation. If there are any inconsistencies between the two, this policy will prevail.

This policy applies to all proposals for development (including subdivision) located within the Jarrahdale Townsite Precinct Heritage Area, as shown in Figure 1.

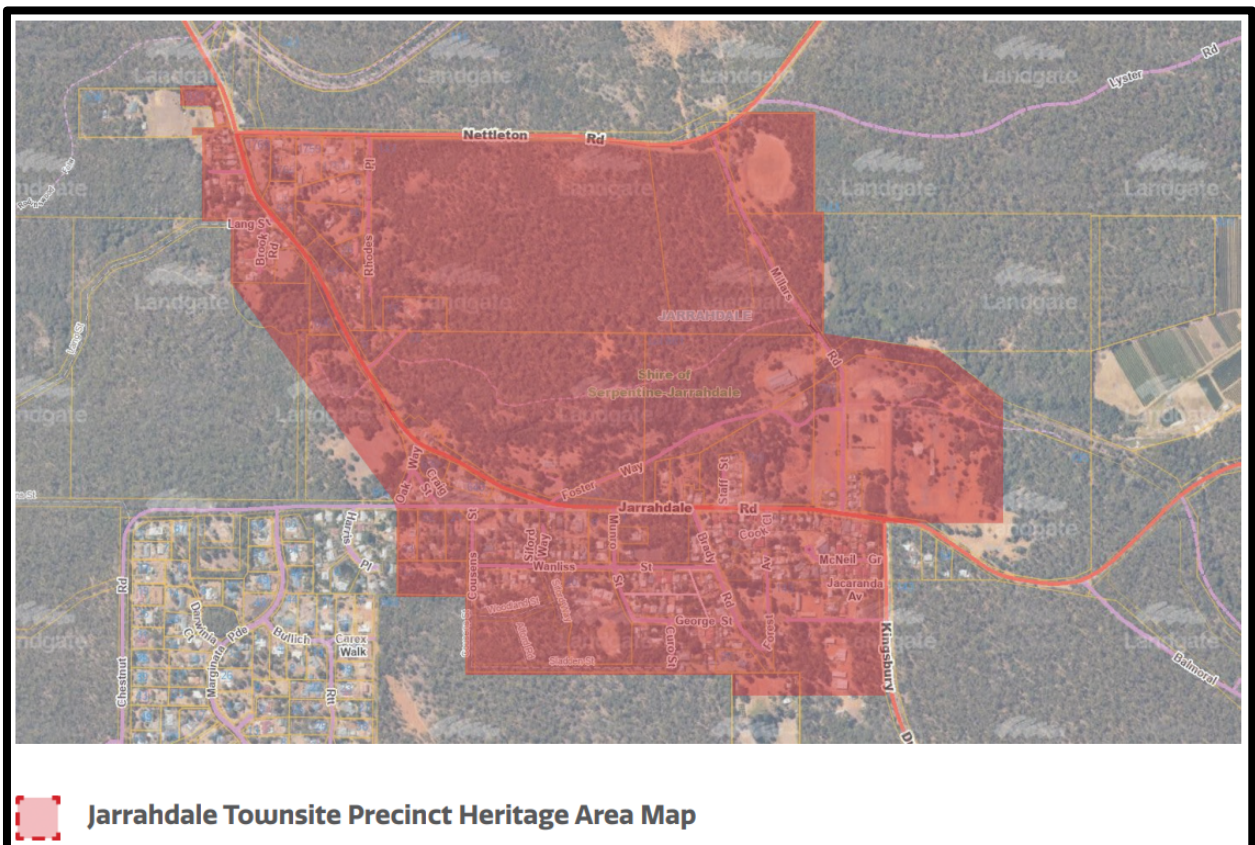


Figure 1: Policy area

POLICY

1. Objectives

Development applications received for development in the policy area will be assessed against the following objectives:

- To retain and recognise the character of Jarrahdale's timber town history.
- To preserve, protect and enhance buildings, structures and physical features which have been identified as having cultural heritage significance.
- To preserve and restore the form of existing buildings and facades.
- To ensure new and incidental developments are compatible with the heritage values of the area and do not detract from the established streetscape.



- (e) To use natural colours and low reflective materials to respond to Jarrahdale's natural landscapes and heritage built form.
- (f) Existing vegetation and natural land form features should be retained to the fullest extent possible, otherwise suitable replanting of local native vegetation is to be provided.
- (g) Site works, including cutting and filling, should be minimised.
- (h) Post and rail, post and wire or timber picket fencing is recommended. Masonry, colourbond and other forms of solid fencing should generally not be supported, unless of an appropriate scale or determined not to adversely impact the heritage fabric of the streetscape.
- (i) In considering any planning applications in relation to a heritage place or within a precinct, the Shire will apply and have regard to the development control principles set out in State Planning Policy 3.5 Historic Heritage Conservation (SPP 3.5).

2. Cultural heritage significance of the Jarrahdale Townsite Precinct Heritage Area

The recognised significant historic value of this Heritage Area is identified in the InHerit Place Number P08488, as follows:

- *"The place was the centre of Western Australia's largest timber concession established in the 1870s during the colonial era.*
- *The place has associations with the individuals and groups who established timber as one of Western Australia's chief exports in the colonial era and into the twentieth century including Governor F.A. Weld, William Wanliss (and the Wanliss Company), The Rockingham Jarrah Timber Company, Neil McNeil (and the Neil McNeil Company), Rockingham Railways and Jarrah Forests Company, Jarrahdale Jarrah Forests and Railways Ltd (and its successors: Millars' Timber and Trading Company Ltd and Millars Australia Pty Ltd) Bunnings Ltd, and the managers, sawyers, workers and their families.*
- *The place was the site of and contains surviving evidence of the physical apparatus of a nineteenth century timber milling company town and community including mills, housing (accommodating management, workers, their families and single working men), railways and post office.*
- *The place is a precinct characterised by a homogeneity of materials (namely timber, timber weatherboard and corrugated iron) and forms.*
- *The place's setting (the proximity of which to the timber resource reinforces its historic significance and the picturesque qualities in the Cooralong valley) contributes to Jarrahdale's sense of place.*
- *The place is valued as a home to a community established parallel to the timber industry in the 1870s some of whom also have strong direct and familial associations with the workings of the Jarrahdale mills throughout the twentieth century."*

3. Key features/elements of the Jarrahdale Townsite Precinct Heritage Area

The planning policy is specifically concerned with the component parts of the Jarrahdale Townsite Precinct Heritage Area that directly contribute to the public, streetscape views. In addition to the building fabric (siting, form, fabric and detailing), this can include landscape elements and fencing.



Key features/elements within the Jarrahdale Townsite Precinct Heritage Area are identified in the Heritage assessment within the Local Heritage Survey, prepared by Stephen Carrick Architects, 2022.

The majority of the places that contribute to the Jarrahdale Townsite Precinct Heritage Area do so because of their age, design characteristics and their moderate to high level of authenticity. Individually, they are not necessarily items of particular heritage significance, but they do possess collective significance within their streetscape context. Loss of, or significant alteration to, the facades of the contributory dwellings would erode the heritage significance and character of the area as a whole.

4. Levels of Contribution

Contributory places are those that make a positive contribution to the cultural heritage significance and character of the Heritage Area. Different planning controls may apply based on the contribution. All places that are assessed as ‘considerable’ or ‘some’ contribution are considered to be contributory places for the purposes of this policy.

The contribution of individual places to the significance of the heritage area are listed in **Appendix 1, Table 1**. The level of contribution has been considered by the following principles:

- Places that have been assessed as being of Considerable Significance have generally retained clear evidence of their traditional external detailing/character and/or have important historical associations.
- Places that have been assessed as being of Some Significance may be those that have undergone more substantial external alterations over time, but their underlying character still remains consistent with the heritage streetscape. Places of some significance also retain sufficient evidence to provide a basis for future restoration, if and when the opportunity arises.
- Places that have been assessed as being Little/no Significance do not contribute to the significance of the Heritage Area. Their existing fabric does not need to be retained. Any new development in these places should reinforce the significance of the area, in accordance with the development control principles.

5. Development control principles

For each of the types of development listed in this section of the policy, different provisions apply based on the level of contribution of a particular site. The categories established are referenced in this section as follows:

1. Considerable significance
2. Some significance
3. Little/no significance

a. Demolition

Level of Contribution	Policy Provisions
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1 & 2	<p>There is a presumption against demolition in sites with 'Considerable Significance' and 'Some Significance'. Any proposed demolition in sites with 'Considerable Significance' requires development approval, with strong justification to be supplied by the applicant.</p> <p>Demolition should only be considered where it can be shown to the Shire's satisfaction that:</p> <ul style="list-style-type: none"> • The demolition proposed is only partial and does not adversely impact the heritage character or features of the property; • The building, due to structural deficiencies or extensive modification, no longer has heritage significance in the opinion of the Shire; or • That the Shire is satisfied that the existing building is not, and cannot be modified to be, suitable for the intended use.
3	Demolition works on properties with this level of significance can be undertaken without development approval.

b. Conservation works

Conservation works can include repair, maintenance, restoration and reconstruction of buildings. Applicants should demonstrate the need for the works to occur.

Level of Contribution	Policy Provisions
1	<p>Conservation works should be supported by the Shire where it can be demonstrated that:</p> <ul style="list-style-type: none"> • Maintenance and repairs will maintain the fabric of that place. • Conservation works should be undertaken on a 'like for like' basis, unless otherwise considered appropriate in maintaining the fabric of the place. • The original appearance of place should be maintained. Works should seek to match original architectural styles, material and finishes. • Replacement roof forms should reflect a simple square or rectangular style.
2 & 3	Conservation works on properties with this level of significance can be undertaken without development approval.

c. New and Incidental Buildings

New and incidental buildings can include dwellings, additions and extensions, outbuildings, patios, carports, verandahs and water tanks. Development within the policy area shall be supported by the Shire where it can be demonstrated that:

Level of Contribution	Policy Provisions
1, 2 & 3	<ul style="list-style-type: none"> • Development is compatible with the siting, scale, architectural style, form, materials, external finishes and function of the place.



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	<ul style="list-style-type: none">• Development should not adversely impact the presentation of the existing heritage values of the streetscape.• Outbuildings should be sited and scaled to not adversely impact the fabric of the place. Outbuildings and attached structures should be designed in an appropriate style and form to complement fabric of the area and minimise impact on the landscape.
1 & 2 only	<ul style="list-style-type: none">• Alterations and extensions should be sympathetic to, and not detract from, the significant fabric and setting of the place.• Open-framed structures (carports, patios, verandahs) are permitted in front of the building line of an existing building where it does not adversely impact the heritage character of the building. Such carports should not include any visible obstructions such as a garage doors or material screens.• New buildings should reflect a simple form of development. <p>The following provision replace the requirements applicable to the site under Clause 5.2.1 Setback of Carports and Garages of the Residential Design Codes:</p> <ul style="list-style-type: none">• C1.1 (replaced) - Garages shall be set back from the primary street in line with or behind the dwelling.

The following figure series provides explanations of the requirements of this clause:

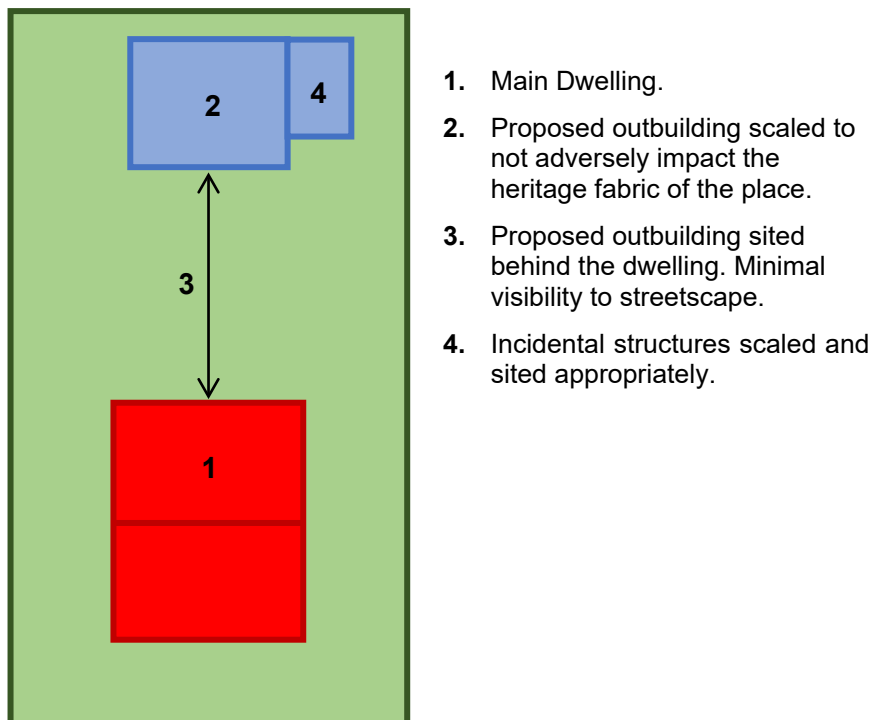
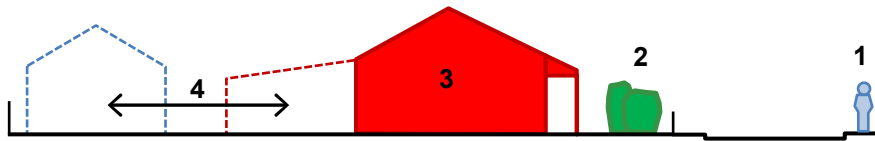


Figure 2: Expectations of new and incidental structures in heritage listed places.



1. The dwelling is prominent and visible from the streetscape. Minimal visibility of proposed additions and outbuildings.
2. Retain existing landscaping and vegetation where possible.
3. Retained main dwelling.
4. Proposed additions and outbuildings to reflect historic design and not adversely impact the fabric of the contributory place.

Figure 3: Expectations of new and incidental structures in heritage listed places, continued.

d. Colours and Material Finishes

Colours and material finishes are important in maintaining the significant fabric of the place.

Level of Contribution	Policy Provisions
1	<p>The following colours and materials are supported, unless otherwise consistent with the fabric of existing building or established streetscape:</p> <ul style="list-style-type: none"> • Colours: Natural and earthy-toned colours are supported. Such common examples include white, heritage red or pale eucalypt. • Materials: Brickwork, timber weatherboard cladding and corrugated metal roofing.
2 & 3	<p>Colours and materials on properties with this level of contribution should be sympathetic or consistent with the fabric of the heritage area, though are not required to directly replicate the above listed items.</p>

e. External Fixtures

External fixtures can include but are not limited to solar panels, air conditioning units, utilities and antennas.

Level of Contribution	Policy Provisions
1	<p>External fixtures should be supported where it can be demonstrated that:</p> <ul style="list-style-type: none"> • External fixtures are sited so they are not visually prominent from public places or roads. New fixtures, fittings and services should be designed and located to complement the fabric of the place. • Solar panels are encouraged, however their placement and quantity should be considered so it does not detract from the fabric of the place.
2 & 3	<p>External fixtures on properties with this level of significance may be undertaken without development approval.</p>



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f. Landscaping, Site Works and Vehicular Access

Level of Contribution	Policy Provisions
1, 2 & 3	<ul style="list-style-type: none">Proposed development should ensure that existing landscaping and vegetation is not adversely impacted, where it forms part of the fabric of the place.Development should be light-weight and low impact on the landscape, seeking to minimize impact on the existing landscape.Proposed site works should reflect natural landforms. Rock batter walls are preferred over limestone retaining walls. There is a strong presumption against cutting and filling of the land that does not meet the deemed-to-comply requirements of the Residential Design Codes (Volume 1).New driveways and hardstand areas should be designed and sited to avoid having a negative impact on any original mature landscaping, garden areas, and other natural or landscaping features. Especially where these are considered to form an important part of the setting of the heritage place, and/or contribute to its heritage significance.

g. Signage

The permissibility of signage should be considered in accordance with the Shire's Local Planning Policy 4.11 - Advertising. The following additional provisions apply to signage proposed in heritage places:

Level of Contribution	Policy Provision
1 & 2	Signage should be supported where it can be demonstrated that: <ul style="list-style-type: none">The form, siting and size of signage should reflect the fabric of the place.Signage attached to existing building facades should not detract from the fabric of the building façade.
3	Signage on properties with this level of significance may be undertaken without development approval.

h. Front Fencing

Level of Contribution	Policy Provision
1 & 2	<p>The following provisions replace those requirements applicable to the site under Clause 5.2.4 Street Walls and Fences of the Residential Design Codes:</p> <p>The following are acceptable forms of fencing in the front setback area:</p> <ul style="list-style-type: none">Post and wire or post and rail fencing to a height of 1.2m above natural ground level; andWood picket fencing to a height of 1.2m above natural ground level.



3

Front fencing on properties with this level of significance should be reflective of the acceptable forms of fencing in the above section.

i. Planning-based incentives for variation of LPS3 requirements

- Variations to any site and development requirement can be considered where that variation facilitates the conservation of a heritage place or enhances the values of a heritage area.
- The extent of variation that will be approved should be proportionate to the conservation benefit produced by the proposed works and the cost of achieving that benefit. The Shire may request further information to support the assessment of these benefits.

6. Works in a heritage area

An application for works in a heritage area that will, or is likely to, have a negative impact on the area, (including any significant views and vistas within a heritage area), must be accompanied by:

- Street elevations drawn as one continuous elevation to a scale not smaller than 1:100 showing the proposed development and the whole of the existing development on each lot immediately adjoining the land the subject of the application.
- A detailed schedule of all finishes, including materials and colours of the proposed development.
- A description of the finishes of the existing developments on the subject lot and on each lot immediately adjoining the subject lot.

For proposed development that will be substantially visible from the street, the accompanying material required must include:

- A site analysis plan showing:
 - Any impacted view-lines of significance to or from the place.
 - Any heritage places within close proximity to the development.
 - A cadastral base identifying all lots located in the street block in which the site is located, as well as the lots on the opposite side of the street, and the location, height, street setback and land use of all buildings located on these lots.

a. Heritage Impact Statement (HIS):

All applications for development approval in a heritage listed place under the Scheme list are required to be accompanied by a Heritage Impact Statement. However, a Statement is not required if in the opinion of the Shire the proposed works are minor in nature. Please contact the Shire prior to lodgement to determine this. Minor works that would not require a Statement include 'like-for-like' replacements, development that does not detract from the heritage value or minor alterations to the appearance of a place.

A Statement should address:

- How the proposed works affect the significant fabric of the place or area.
- What measures (if any) are proposed to ameliorate any adverse impacts.



- Will the proposal result in any heritage conservation benefits that might offset any adverse impacts.
- The level of heritage significance of the place.
- The structural condition of the place.
- Whether the place is capable of adaptation to a new use which will facilitate its retention and conservation.

During the development application process the Shire may determine that a Statement is required. This is to be provided at the applicant's cost and prepared by a heritage professional with relevant experience.

b. Structural condition assessment in the case of demolition:

If structural failure is cited as a justification for the demolition of significant fabric, the Shire may require that a structural condition assessment by a registered structural engineer with relevant heritage experience be provided.

Demolition will not be approved unless a structural condition assessment provides evidence that the structural integrity of the building has failed to the point where it cannot be rectified without removal of a majority of its significant fabric and/or incurring prohibitive costs.

Demolition will not be approved if the local government forms the view that structural inadequacy is a result of the place not being properly maintained, as defined in clause 13(1) Schedule 2 of the Planning and Development (Local Planning Schemes) Regulations 2015.

Demolition will not be approved based primarily on the grounds that redevelopment is a more attractive proposition.

7. Reference documents

- *Heritage Act 2018*;
- *Planning and Development Act 2005*;
- *Planning and Development (Local Planning Schemes) Regulations 2015*;
- State Planning Policy 3.5 - Historic Heritage Conservation (WAPC, 2007);
- State Planning Policy 7.3 - Residential Design Codes (Volume 1);
- An Information Guide to Conservation Management Plans (HCWA, 2013);
- An Information Guide to Conservation Management Strategy (HCWA, 2017);
- Heritage Impact Statement (HCWA, 2020); and
- Guide to Preparing an Archival Record (HCWA, 2019).

Office Use Only	
Relevant Delegations	12.1.1



Initiation	Date			
Adoption	Date			
Reviewed/Modified	Date			
Reviewed/Modified	Date			

APPENDIX 1

Table 1: Levels of Contribution

A heritage audit was undertaken in conjunction with the heritage survey previously established in the Shire's Local Heritage Survey. This determined the level of contribution of each building to the overall significance of the Policy Area (Figure 1).

Considerable Significance	• 528 Jarrahdale Rd	• 706 Jarrahdale Rd	• 24 Forest Ave	
	• 546 Jarrahdale Rd	• 708 Jarrahdale Rd	• 25 Foster Way	
	• 548 Jarrahdale Rd	• 710 Jarrahdale Rd	• 2 Staff St	
	• 550 Jarrahdale Rd	• 712 Jarrahdale Rd	• 4 Staff St	• 21 Atkins St
	• 568 Jarrahdale Rd	• 718 Jarrahdale Rd	• 6 Staff St	• 12 Cousens St
	• 629 Jarrahdale Rd	• 720 Jarrahdale Rd	• 8 Staff St	• 19 Wanliss St
	• 631 Jarrahdale Rd	• 722 Jarrahdale Rd	• 10 Staff St	• 20 Wanliss St
	• 640 Jarrahdale Rd	• 745 Jarrahdale Rd	• 12 Staff St	• 32 Wanliss St
	• 697 Jarrahdale Rd	• 16 Rhodes Pl	• 1 Millars Rd	• 46 Wanliss St
	• 699 Jarrahdale Rd	• 3 Berwick St	• 2 Millars Rd	• 16 Brady Rd
	• 701 Jarrahdale Rd	• 20 Forest Ave	• 3 Millars Rd	• 18 Brady Rd
	• 702 Jarrahdale Rd	• 21 Forest Ave	• 4 Millars Rd	
	• 703 Jarrahdale Rd	• 22 Forest Ave	• 6 Millars Rd	
	• 704 Jarrahdale Rd	• 23 Forest Ave	• 8 Millars Rd	
Some Significance	• 566 Jarrahdale Rd	• 5 Atkins St	• 36 Wanliss St	
	• 668 Jarrahdale Rd	• 11 Atkins St	• 38 Wanliss St	• 15 Brady Rd
	• 672 Jarrahdale Rd	• 6 Wanliss St	• 40 Wanliss St	• 13 George St
	• 724 Jarrahdale Rd	• 8 Wanliss St	• 48 Wanliss St	• 15 George St
	• 726 Jarrahdale Rd	• 10 Wanliss St	• 5 Brady Rd	• 22 George St
	• 728 Jarrahdale Rd	• 18 Wanliss St	• 6 Brady Rd	• 3 Cook Cl
	• 730 Jarrahdale Rd	• 23 Wanliss St	• 7 Brady Rd	• 4 Cook Cl
	• 734 Jarrahdale Rd	• 25 Wanliss St	• 9 Brady Rd	• 5 Cook Cl
	• 2 Berwick St	• 34 Wanliss St	• 11 Brady Rd	
Little/no Significance	• 538 Jarrahdale Rd	• 7 Brook Rd	• 13 Wanliss St	• 5 George St
	• 544 Jarrahdale Rd	• 8 Brook Rd	• 14 Wanliss St	• 6 George St
	• 552 Jarrahdale Rd	• 14 Brook Rd	• 17 Wanliss St	• 7 George St
	• 556 Jarrahdale Rd	• 1751 Nettleton Rd	• 21 Wanliss St	• 9 George St
	• 563 Jarrahdale Rd	• 1759 Nettleton Rd	• 27 Wanliss St	• 1 Cook Cl



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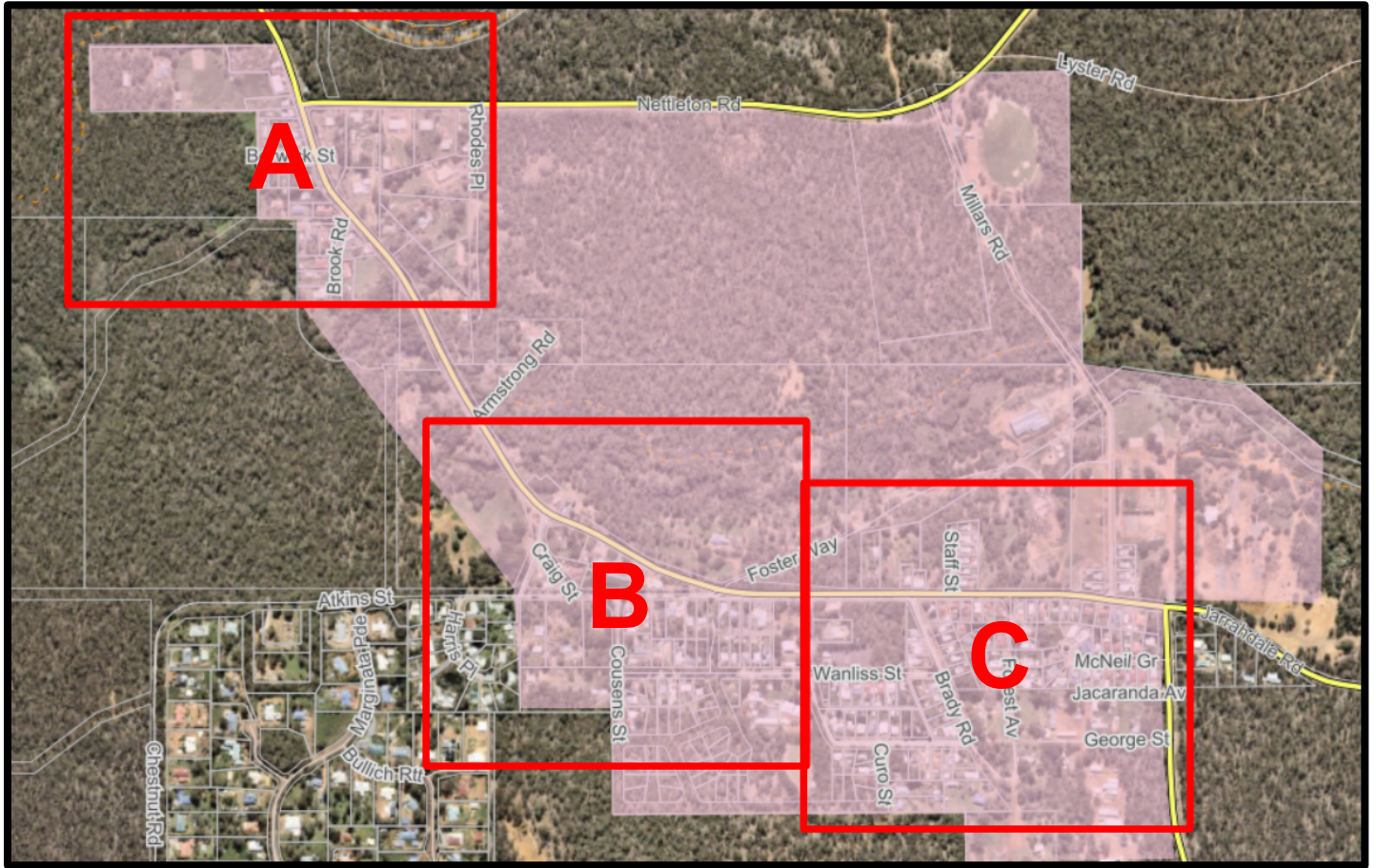
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	• 569 Jarrahdale Rd	• 1765 Nettleton Rd	• 42 Wanliss St	• 2 Cook Cl
	• 581 Jarrahdale Rd	• 1769 Nettleton Rd	• 44 Wanliss St	• 6 Cook Cl
	• 600 Jarrahdale Rd	• 4 Rhodes Pl	• 49 Wanliss St	• 4 Kingsbury Dr
	• 612 Jarrahdale Rd	• 6 Rhodes Pl	• 5 Munro St	• 1 McNeil Gr
	• 630 Jarrahdale Rd	• 26 Rhodes Pl	• 2 Brady Rd	• 2 McNeil Gr
	• 658 Jarrahdale Rd	• 2 Siford Way	• 14 Brady Rd	• 3 McNeil Gr
	• 666 Jarrahdale Rd	• 3 Craig St	• 20 Brady Rd	• 4 McNeil Gr
	• 674 Jarrahdale Rd	• 6 Craig St	• 24 Brady Rd	• 5 McNeil Gr
	• 714 Jarrahdale Rd	• 7 Atkins St	• 26 Brady Rd	• 6 McNeil Gr
	• 738 Jarrahdale Rd	• 22 Atkins St	• 1 Forest Ave	• 7 McNeil Gr
	• 740 Jarrahdale Rd	• 25 Atkins St	• 11 George St	• 8 McNeil Gr
	• 742 Jarrahdale Rd	• 33 Atkins St	• 12 George St	• 9 McNeil Gr
	• 5 Armstrong Rd	• 3 Cousens St	• 14 George St	• 10 McNeil Gr
	• 15 Armstrong Rd	• 5 Cousens St	• 16 George St	• 12 McNeil Gr
	• 5 Berwick St	• 7 Cousens St	• 18 George St	• 11 McNeil Gr
	• 7 Berwick St	• 17 Cousens St	• 20 George St	• 13 McNeil Gr
	• 8 Berwick St	• 19 Cousens St	• 3 Curo St	• 14 McNeil Gr
	• 9 Berwick St	• 3 Wanliss St	• 4 Curo St	• 15 McNeil Gr
	• 2 Lang St	• 4 Wanliss St	• 7 Curo St	• 16 McNeil Gr
	• 3 Lang St	• 5 Wanliss St	• 11 Curo St	• 17 McNeil Gr
	• 5 Lang St	• 7 Wanliss St	• 1 George St	• 18 McNeil Gr
	• 6 Lang St	• 9 Wanliss St	• 2 George St	• 19 McNeil Gr
	• 10 Lang St	• 11 Wanliss St	• 3 George St	• 20 McNeil Gr
	• 2 Brook Rd	• 12 Wanliss St	• 4 George St	

The level of significance identified for each property in the policy area is mapped in Appendix 2 following.



APPENDIX 2

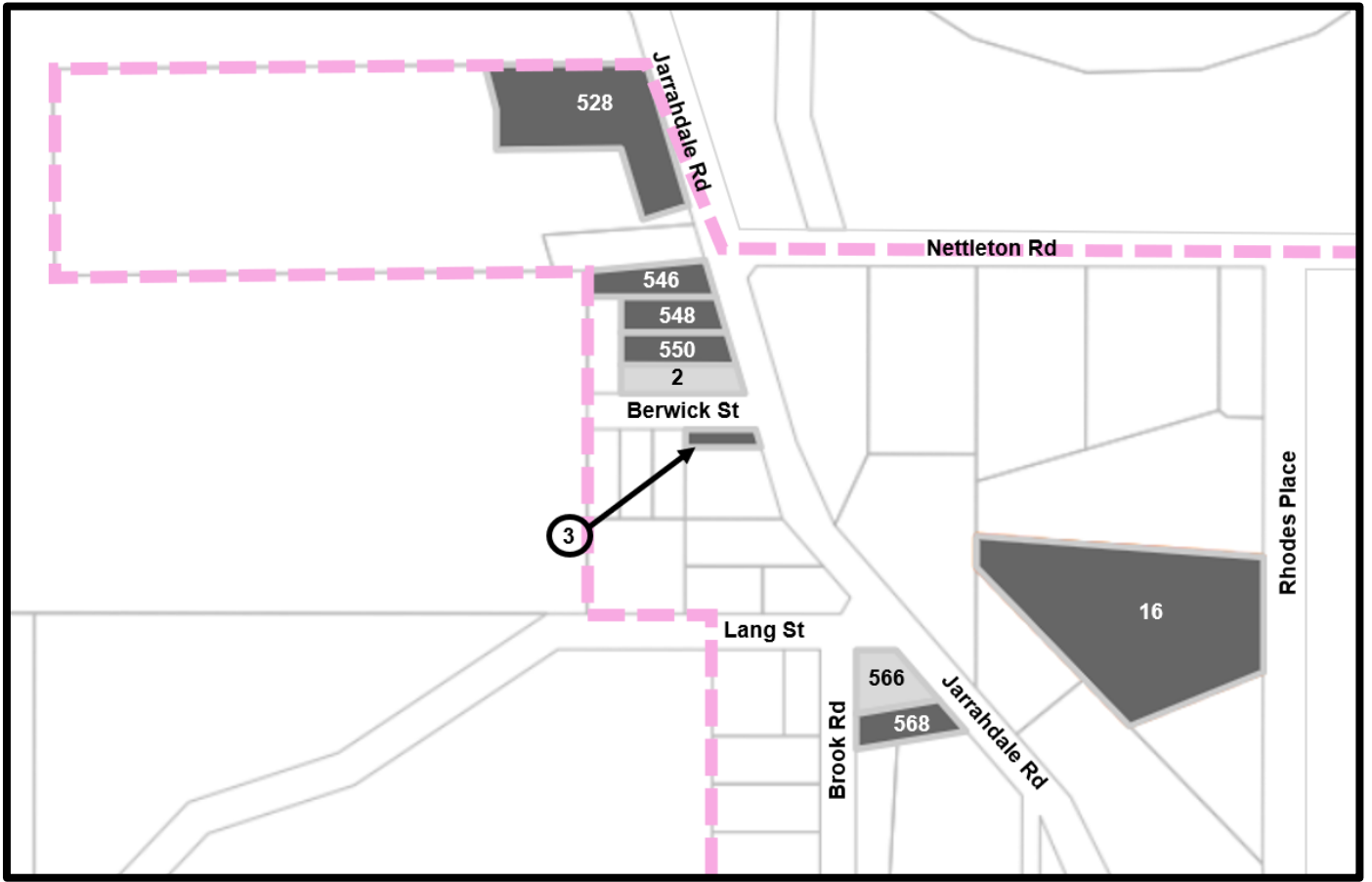


Heritage Area Sections Map

The above figure show the entire Jarrahdale Townsite Precinct Heritage Area. The level of contribution of each property within the Heritage Area (as listed in Appendix 1) is spatially displayed in the following sections, to provide clarity for users of the policy about which development control principles apply to each property.

Legend: Level of Contribution

703	Considerable significance
728	Some significance
N/A	Little/No significance
	Jarrahdale Townsite Precinct Heritage Area boundary

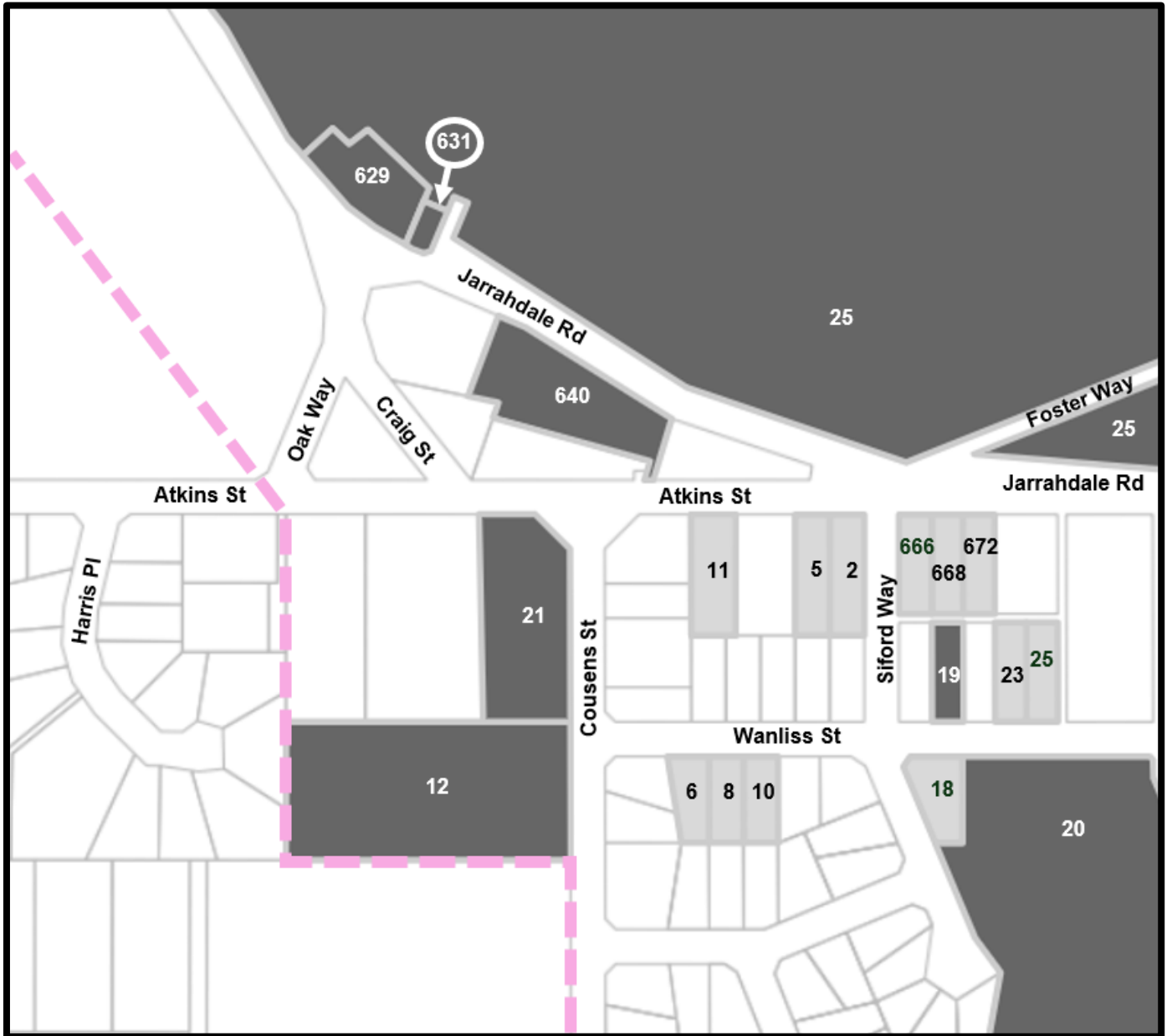


Section A



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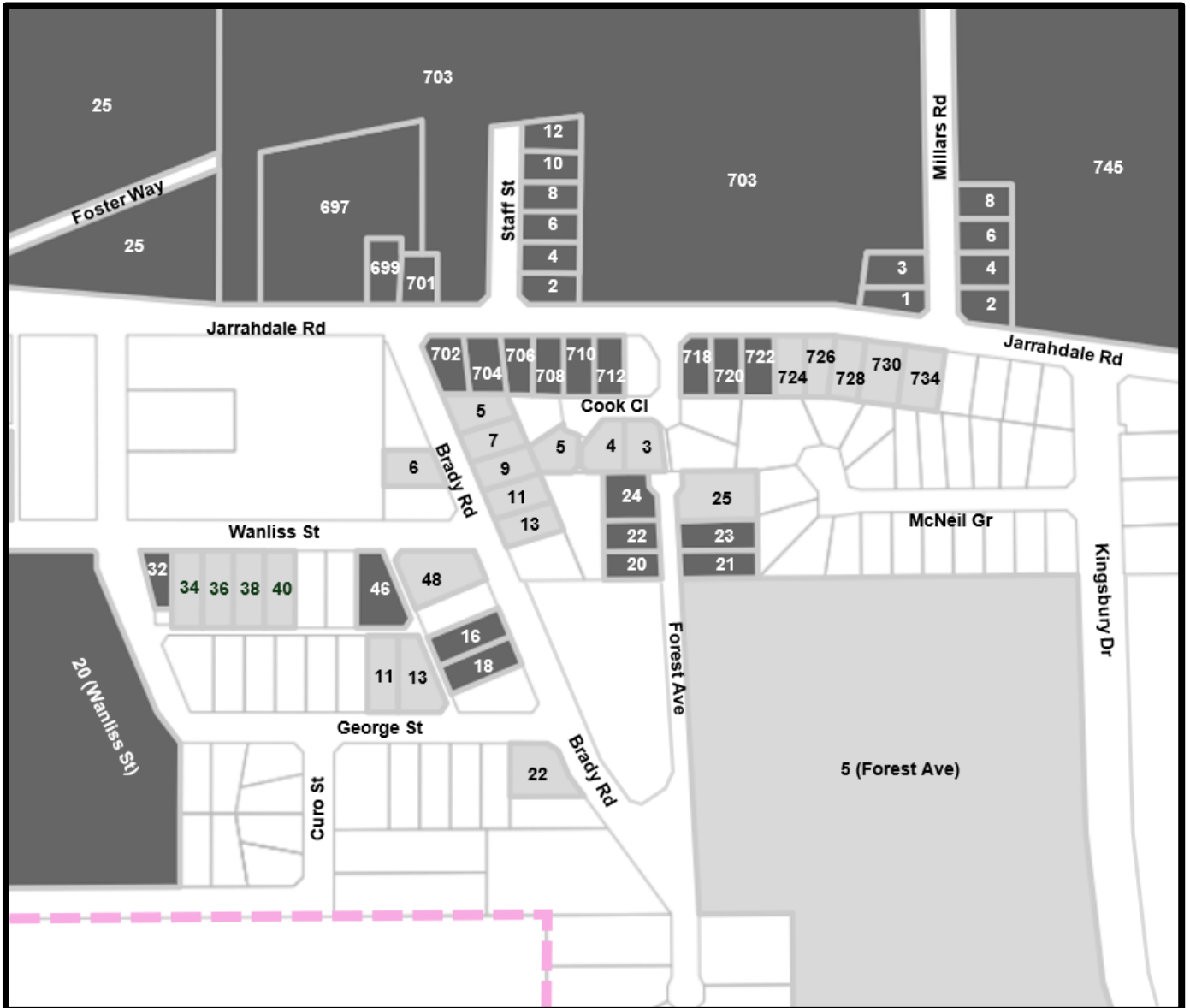


Section B



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Section C

APPENDIX 3



Continued

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Property Reference for 'Considerable Significance'

Description: Jarrahdale Historic Precinct

Address:	629, 631, 697, 699, 701, 703, 745 Jarrahdale Road & 25 Foster Way	Reference:	Local Heritage Survey: SJ5-01, SJ5-02, SJ5-03, SJ5-07, SJ5-10, SJ5-11
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Description of Significance:

This entry is inclusive of the broader Jarrahdale Timbertown, the Old Post Office, St. Paul's Church, Jarrahdale General Store, Mill Manager's Residence and the Mill Sheds. The areas contain buildings, structures and landscape elements from when the first timber mill opened in 1872.

The main area of Jarrahdale sits on a north facing slope leading to Gooralong Brook. The brook and its tributaries are at physical and historical heart of the town. Basically, running east to west through the townsite, the brook, in its naturally overgrown state, is the visual focus of the town. The town looks across the brook to the steepish undisturbed hillside on the northern side of the valley, much of which is State Forest. Containment of the vistas in and around the town by the topographical and landscape elements is an important characteristic of the town.

Description: Staff Street and Millars Road Cottages

Address:	2, 4, 6, 8, 10, 12 Staff Street & 1, 2, 3, 4, 6, 8 Millars Road	Reference:	Local Heritage Survey: SJ5-01 and SJ5-12
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Description of Significance:

Millars Road contains six timber cottages (c1950). These are painted various colours, gable roofs, front verandas and picket fencing. A row of six single men's (two roomed) quarters, c1900, timber framed, weatherboard clad with brick and iron chimneys. Cottages and quarters overlook the former Millar's Sawmill complex and Gooralong Brook.

Staff Road contains five timber framed weatherboard clad cottages, c1890, 1950, with corrugated iron roof and front verandahs along east side of road.

Description: Jarrahdale Tavern

Address:	640 Jarrahdale Road	Reference:	Local Heritage Survey: SJ5-05
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Description of Significance:

A spreading, single-storey hotel building which incorporates the original hotel (east) and a modern extension (west). The building features an extensive flat roofed veranda. The tavern is set into the hillside at the western entrance to the town, overlooking a grove of trees and the creek below.

Description: Various Cottages on Jarrahdale Road

Address:	702, 704, 706, 708, 710, 712, 718, 720 and 722 Jarrahdale Road	Reference:	Local Heritage Survey: SJ5-01 and SJ5-14
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Description of Significance:



Continued

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These are small weatherboard and corrugated iron cottages painted various colours. They feature gable roofs, front verandas and most with picket fencing. These cottages feature a simple built form, which is a key characteristic of the early mill workers cottages.

Description: *CALM Houses (Forestry Workers Cottages)*

Address:	20, 21, 22, 23, 24 Forest Avenue & 16, 18 Brady Road	Reference:	Local Heritage Survey: SJ5-13
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Description of Significance:

These are significant because the cottages are typical of the worker's cottages provided for the people who worked in the timber industry. They are part of the group of historic buildings in the historic Jarrahdale townsite. Eleven small weatherboard and corrugated iron cottages painted various colours, gable roofs, front verandas and most with picket fencing.

Description: *St Maria Goretti Catholic Church*

Address:	21 Atkins Street	Reference:	Local Heritage Survey: SJ5-04
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Description of Significance:

A single-storey church building featuring a high-pitched gable main roof and porch with feature stone wall alongside front stairs and for footings, colonnettes supporting porch roof and double hung sash windows. The front door is a double wooden door.

The church is set amongst trees on the hillside overlooking the Serpentine Jarrahdale Tavern; with the Gooralong Brook below.

Description: *Jarrahdale Primary School (Wanliss Street)*

Address:	20 Wanliss Street	Reference:	Local Heritage Survey: SJ5-08
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Description of Significance:

The school has two sections. An older two-roomed building in the front of the school, separated from a newer jarrah weatherboard, asbestos building by a large playing area. There is a new covered area.

Description: *Rhodes Place Cottage*

Address:	16 Rhodes Place	Reference:	Local Heritage Survey: SJ5-06
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Description of Significance:

A four-roomed cottage overlooking Mill Brook. The cottage represents a typical worker's cottage of the era and is a reminder of the former Millbrook Hotel.

Description: *Various Cottages*

Address:	528, 546, 548, 550, 568 Jarrahdale Road, 3 Berwick Street, 19, 32, 46 Wanliss Street & 12 Cousens Street	Reference:	N/A – See photos below
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Continued

LPP 4.22 Development of Heritage Places and Areas - Jarrahdale Heritage Precinct

Description of Significance:

These cottages are not recognized within the Shire's Local Heritage Survey. However, they are buildings of significant age. The design of these cottages are well maintained and a clear representation of the simple building form and characteristics of the original worker's cottages in Jarrahdale. The relevant design elements include a simple high-pitched roof, weatherboard cladded walls and verandahs, with landscaping and wood picket fences towards the streetscape. These features are and the well maintained representation of original cottage designs are considered to significantly contribute to the heritage values of the area.



528 Jarrahdale



546 Jarrahdale



548 Jarrahdale



550 Jarrahdale



Continued **LPP 4.22 Development of Heritage Places and Areas - Jarrahdale Heritage Precinct**



568 Jarrahdale Road



3 Berwick Street



19 Wanliss Street



32 Wanliss Street





12 Cousens Street



46 Wanliss Street



Property Reference for 'Some Significance'

<i>Addresses</i>	<i>Description of Significance</i>
<p>566, 666 Jarrahdale Road</p>	<p>These properties feature cottages of significant age. The dwellings include a simple form, pitch and material construction. These historic and aesthetic factors contribute to the cultural heritage significance of the Jarrahdale Townsite Precinct Heritage Area and the timber town cottage theme. However, the cottages have been altered or works undertaken so that their facades do not present original fabric towards the streetscapes. Therefore, a 'Some Significance' category has been applied.</p>
 <p data-bbox="284 1189 560 1223">556 Jarrahdale Road</p>	 <p data-bbox="1034 1263 1310 1296">556 Jarrahdale Road</p>
<p>730, 734 Jarrahdale Road</p>	<p>These duplex dwellings were constructed at the end of World War II, providing accommodation to returned service-people. These are prominently located on the Jarrahdale Road streetscape and have been in place for a considerable period of time. The contributory factors include the use of colours and materials that reflect the natural environment (i.e. earthy toned red bricks) and a modest form and scale of dwelling, which is sympathetic to the landscape values of the area. For these reasons the dwelling is considered to positively contribute to the Heritage Area.</p>



Continued

LPP 4.22 Development of Heritage Places and Areas - Jarrahdale Heritage Precinct



730 Jarrahdale Road



734 Jarrahdale Road

2 Berwick Street

While the dwelling is larger and more ornate than the typical worker's cottages in Jarrahdale, it still features several contributory design elements towards the Heritage Area. These include landscaping, wood picket boundary fencing, a tin roof, weatherboard cladded walls, framed windows and a raised stilt house construction that is sympathetic to the contours of the land. For these reasons the dwelling is considered to positively contribute to the Heritage Area.



2 Berwick Street

668, 672 Jarrahdale Road, 5, 11 Atkins Street

These dwellings are of modern construction (from early 2000's to 2022), though they feature prominently within the Heritage Area. Furthermore, they are good examples of a modern construction that offer several sympathetic and contributory fabric towards the Heritage Area. The dwellings consist of weatherboard cladding, simple forms of development with pitched metal roofs and verandah elements. They are also low impact on the landscape, with minimal bulk earthworks being undertaken. They are therefore considered to positively contribute to the heritage values of the Jarrahdale Townsite Precinct Heritage area.



Continued

LPP 4.22 Development of Heritage Places and Areas - Jarrahdale Heritage Precinct



5 Atkins Street



11 Atkins Street



668 & 672 Jarrahdale Road

724, 726, 728 Jarrahdale Road

These properties feature cottages of significant age. These dwellings are not specifically heritage listed, though they are adjacent to heritage listed cottages. Given their age, design characteristics and landscape features of the frontages, they contribute positively to the Townsite. The dwellings include a simple form, pitch and material construction. These historic and aesthetic factors contribute to the cultural heritage significance of the Jarrahdale Townsite Precinct Heritage Area and the timber town cottage theme. There are however certain works, or the general decline of the dwelling, which has resulted in these properties being placed within the 'Some Significance' category.



Continued

LPP 4.22 Development of Heritage Places and Areas - Jarrahdale Heritage Precinct



724 Jarrahdale Road



726 Jarrahdale Road



728 Jarrahdale Road

**6, 8, 10, 18, 23, 25, 34, 36, 38, 40
Wanliss Street**

This series of properties feature dwellings and cottages of significant age. These structures strongly reflect a simple built form, which is reflective of the values of the Jarrahdale Townsite. Contributory elements include verandahs toward the streetscape, sympathetic landscaping, low impact site works, stilt design buildings, cladded walls, earthy colours and external fixtures like chimneys. Many of these structures have undergone substantial changes to their fabric of the building facades, including tiled roofing, non-earthly toned colours, obtrusive external fixtures and landscaping which is not sympathetic to the heritage values of the area. Therefore, it is considered that these properties are appropriately categorised as offering 'Some Significance' to the Jarrahdale Townsite Precinct Heritage Area.



Continued **LPP 4.22 Development of Heritage Places and Areas - Jarrahdale Heritage Precinct**



6 Wanliss Street



8 Wanliss Street



10 Wanliss Street



18 Wanliss Street



23 Wanliss Street



25 Wanliss Street



Continued

LPP 4.22 Development of Heritage Places and Areas - Jarrahdale Heritage Precinct



34 Wanliss Street



36 Wanliss Street



38 Wanliss Street



40 Wanliss Street

48 Wanliss Street

This dwelling is an old, non-heritage listed cottage in the Jarrahdale Townsite. It has existed for a substantial period of time. While it retains the original cottage form, the external of the building has been altered over time including more modern material treatments. The dwelling is therefore appropriately considered to fall within the 'Some Significance' category, still contributing in a reduced capacity to the Townscape Precinct.



Continued

LPP 4.22 Development of Heritage Places and Areas - Jarrahdale Heritage Precinct



48 Wanliss Street

13, 15, 22 George Street

These properties feature three cottages of significant age, which have been retained to the present day. However, the cottages are either not visible due to excessive front yard landscaping or otherwise some material changes have been made to the fabric of the building. For this reason, it is considered appropriate to classify these properties within the 'Some Significance' category.



13 George Street



15 George Street



Continued

LPP 4.22 Development of Heritage Places and Areas - Jarrahdale Heritage Precinct



22 George Street

3, 4, 5 Cook Close

These properties feature dwellings of a more modern construction. The dwellings feature several contributory elements however. No.4 and 5 Cook Close feature a farm-house design including a simple built form, verandah and sympathetic colours and materials, which positively contribute to the Heritage Area. Meanwhile, No.3 Cook Close has been created more closely to an original cottage design, with heritage colours, a white picket fence to the street, cladded walls and suitably sized carport and outbuilding elements. For these reasons, it is considered appropriate to classify the properties within the 'Some Significance' category.



4 Cook Close



5 Cook Close



Continued

LPP 4.22 Development of Heritage Places and Areas - Jarrahdale Heritage Precinct



3 Cook Close

5, 6, 7, 9, 11, 15 Brady Road

Several properties on Brady Road contain dwellings that are not original cottages, though they are designed in a way that is sympathetic to the Heritage Area. The relevant contributory fabric of these places includes, simple cottage designs, fencing or hedging elements, framed windows, verandahs, tin pitched roofs and cladded walls. Therefore, it is considered appropriate to classify the properties within the 'Some Significance' category.



5 Brady Road



6 Brady Road



Continued **LPP 4.22 Development of Heritage Places and Areas - Jarrahdale Heritage Precinct**



7 Brady Road



9 Brady Road



11 Brady Road



15 Brady Road