

Responsible Directorate	Development Services
Responsible Business Unit/s	Strategic Planning
Responsible Officer	Manager Strategic Planning
Local Affected Business Units	Strategic Planning Health and Building Statutory Planning and Compliance Environmental Services

Objective

- To provide development standards for hangars and promote the orderly and proper development of the site;
- To promote development that maintains a high level of safety and amenity for occupants and visitors;
- To protect and enhance the environmental features of the site;
- To effectively regulate the requests for short term accommodation, taking account of risk based considerations.
- To provide guidance in relation to statutory requirements.

Introduction

The Serpentine Airfield is approximately 65 hectares in size and is within the south western portion of the Shire of Serpentine Jarrahdale. The site is leased to the Sports Aircraft Builders Club (SABC), and this club provides a site for members and visitors to view, build and use small scale aircrafts. Access to the Serpentine Airfield is taken from the north eastern corner of the site.

There are approximately 100 hangars, of various sizes. The hangars are developed and maintained by individual members.

The members' area is a communal area that allows the club to provide facilities for all its members and visitors.

In response to increasing requests from the SABC to regulate the development of the structures on site, this Local Planning Policy provides a set of policy provisions to address future development on the reserve.



Scope

This Policy will assist officers and Council in the exercise of discretion in respect of applications for development on the land.

This policy addresses planning matters regarding the Serpentine Airfield with reference to:

- Hangars and their use
- Sports Aircraft Builders Club Communal Area
- Future developments, especially where short term habitation is proposed
- Addressing pre-existing development, to address retrospective application requirements for short term habitation
- Annexure 1 of the Local Planning Policy provides a Position Statement pertaining to National Construction Code (Building Code of Australia) requirements.

Policy Provisions

Development of the land should be in accordance with the following policy provisions:

1. Hangars

Placement and Spacing

- Hangars should be developed ensuring the placement and spacing of development reflects the layout illustrated in Annexure 2 to this policy.
- Siting of hangars in a location which has the potential to impact on Bush Forever will generally not be supported.

Maximum size of hangars

- Hangars should not exceed a maximum area of 500 square metres.
- Hangars should not exceed the following dimensions – width of 25 metres, length/depth of 20 metres, height of seven metres (two storeys).
- Mezzanine structures may not be more than half of the overall size of the hangar.

Verandas

- Verandas may only extend three metres from the hangar itself and may not extend for more than 2/3 of the hangar depth.
- Verandas may only be constructed on one side of the hangar.
- Verandas may not be enclosed in any way, other than a roof.
- Verandas may be used for car parking. In circumstances in which verandas are used for car parking, it must be ensured taxiways remain clear at all times.
- No veranda may be larger than 40 square metres.
- Verandas must be setback a minimum of 1.8 metres from any other structure as to not increase the risk of fire spread between hangars.



Construction materials

- Hangars and verandas are to be constructed of simple, lightweight materials, that are non-combustible materials and mimic the character of the rural setting.

Scale of development

- Any components of hangars for habitable accommodation shall be small-scale, and only incidental to the predominant hanger design and use.
- Hangars and all associated structures must remain within the boundary of the allocated site and provide the required clearance from any taxiway, walkway, above ground or below ground infrastructure and any adjacent structure.
- Portable structures will generally not be supported.

Infrastructure management

- Effluent disposal management shall take place in accordance with the effluent management plan that has been agreed to by the Shire. All new developments will need to link to the system and will need to be approved by the Shire.
- Power infrastructure management will be in accordance with the power infrastructure management plan agreed to by the Shire. All requirements of Western power also need to be adhered to.



- Any retrospective effluent disposal system must be proven to comply with current standards. Approval will be required from a certified plumber at the cost of the SABC.

Bushfire and vegetation provisions

- All habitable structures must be setback from vegetation to ensure that a Bushfire Attack Level rating of BAL-29 or lower can be achieved.
- Habitable accommodation within areas that have a Bushfire Attack Level of BAL-40 or “Flame Zone” will not be supported.
- No vegetation removal shall be undertaken without prior approval from the Shire. Removal of vegetation within below is permitted.
- Vegetation within zone 1 is to be trimmed and managed by the SABC in order to keep fuel loads to a minimum and to ensure the Bushfire Attack Level rating of BAL-29 or lower is maintained.



Zone 1	
Zone 2	



Overnight accommodation

- Overnight accommodation in an approved habitable portion (class 3) of a hangar is permitted for no more than 2 consecutive nights, and for no more than 3 months in any 12-month period. This applies to both members and non-members.
- Hangars that are approved to have a habitable portion must have an Occupancy Permit in place for the specific building. Occupancy Permits are not transferrable between buildings.
- Hangar designation or identifier must be specified on the associated Occupancy Permit, with a site plan correctly identifying the hangar in a current Aerial photo at the time of application.
- Cooking may only take place in facilities that are specifically designated for this purpose. Kitchens are not permitted within hangars. Hangars may have kitchenettes which include a sink and appliances such as a fridge, kettle, toaster and microwave.
- Hangars need to be designed and maintained in accordance with regulations regarding electrical supply, effluent disposal, storm water management and smoke alarms.
- Members may stay in a caravan, for up to 3 days in any 28 day period, provided they have access to sanitary facilities, laundry facilities and connection to an approved wastewater system or contained wastewater holding system. (This provision does not apply to any on site caretakers).
- Any caravan must be placed in an approved area as specified in annexure 2.
- A hangar which is approved for overnight accommodation in an approved class 3 portion of a hangar, a caravan will not be supported as an additional habitable unit to be used.
- Hangars that are not approved for habitable purposes must not be used for overnight accommodation.
- Toilets and showers may be permitted within hangars however, this will be assessed on a case by case basis. All toilets and showers must have an approved connection to a wastewater treatment system or contained wastewater holding system.

Leases

- The Shire (lessor) leases the site and seeks to ensure that SABC (lessee) meets all the relevant standards and requirements in regard to planning, building and environmental health.
- As the Lessee, SABC shall not be permitted to transfer any agreement/s relating to the ownership or occupation of hangars unless they are able to demonstrate their compliance to planning, building and environmental health regulations.
- In the event that the ownership of a hangar is being transferred, the SABC shall ensure that the hangar is compliant to all relevant legislation prior to transferral.

2. Sports Aircraft Builders Club Communal Area

- The SABC clubhouse and other communal structures within the SABC communal area may not exceed 500 square metres.
- In addition to this policy consideration, any further development should reflect the Annexure 2 Master Plan and the Reserve Management Plan.
- Only two short term accommodation facilities utilised by the onsite caretakers will be permitted in the SABC communal area.
- Caretakers accommodation shall meet all requirements for habitable accommodation on the site.



- Caretakers accommodation shall be exempt from the time limits that are placed on the length and frequency of stays within other habitable accommodation on the site.
- All structures within the SABC communal area must be designed and maintained in accordance with regulations electrical supply, effluent disposal, storm water management and smoke alarms.
- Any development or alterations to the Sports Aircraft Builders Club Communal Area should adhere to the Reserve Management Plan.
- Fully functional kitchens are only permitted in the SABC communal area and are not permitted in hangars.

3. Future developments

- All development applications should be accompanied by the appropriate endorsement of the SABC lessee.
- In addition to this policy consideration, any further development on site will need to reflect the Annexure 2 Master Plan and the Reserve Management Plan.
- No future development is to occur without the approval of the Shire.

Definitions

Temporary Accommodation: Accommodation that is utilised for 30 days or less within a 90-day period.

Hangar: A non-habitable building in which aircraft are kept.

Yangedi Reserve Management Plan: The agreement between the Shire of Serpentine Jarrahdale and the Sports Aircraft Builders Club that allows the latter organisation to manage the site on behalf of the local government.

Relevant Policies/Council Documents

- Planning and Development Act (Local Planning Schemes) Regulations 2015
- Building Act 2011
- Building Regulations 2012
- Caravan Parks and Camping Grounds Act 1995 and Regulations
- Bushfires Act 1954 and Regulations
- Environment Protection and Biodiversity Conservation Act 1999
- Environmental Protection Act 1986
- Government Sewerage Policy 2019
- Local Government Act 1995
- Local Planning Policy 4.19 – Outbuildings, Sheds, Garden Sheds and Sea Containers
- Council Policy – General Compliance and Enforcement



Continued

Local Planning Policy 4.23 – Lot 164 Yangedi Road, Hopeland – Serpentine Airfield Development Standards

Office Use Only				
Relevant Delegations				
Council Adoption	Date	16 May 2022	Resolution #	OCM098/05/22
Reviewed/Modified	Date	15 May 2023	Resolution #	OCM100/05/23
Reviewed/Modified	Date		Resolution #	



Annexure 1 - Position Paper for Building Works

Works for which no approval is necessary

The following works can be done without seeking approval from the Shire if they are carried out using “like for like” materials and do not affect the compliance of the building:

- Recladding of existing walls.
- Recladding of an existing roof.
- Replacing/repairing gutters/downpipes.
- Antenna (less than 1.8m above roofline if fixed to a roof)
- Repainting

Class of Building for Hangars

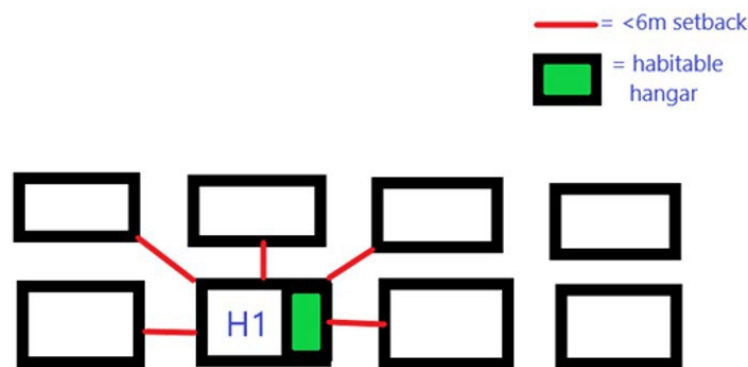
- Hangars with up to 3 aircrafts will be assessed as class 10a non-habitable buildings in accordance with the National Construction Code (NCC).
- For hangars with a habitable portion, they will be assessed as Class 3 buildings for short term accommodation in accordance with the NCC.
- BA9 - Applications for Occupancy Permit must be certified via an independent Building Surveyor prior to lodging with the Shire. The certifier will be able to provide either a BA18 - Certificate of Building Compliance (CBC) or a BA17 - Certificate of Construction Compliance (CCC)
- The applicable building standards for this class of building are outlined in the NCC Building Code of Australia Volume One and include, but not limited to the following considerations;
 - 3m setback from a *fire source feature* other than a class 10a building;
 - Compliant fire resistance level of external walls where required,
 - Compliance with AS3959 ‘Construction in Bushfire prone areas’ and the relevant Bushfire Attack Level (BAL) as determined by a BAL assessment, **Note: any class 10a building such as a non-habitable hangar within 6m of a class 3 building / hangar required to comply with this standard will also be required to comply with the standard OR be separated by a fire separating wall. The implications are indicated in the diagram below;**
 - Vapour Proof Membrane under floor slab (not required for sheds, but required for habitable spaces)
 - Energy efficiency requirements (normally built in during construction) can be retrospectively installed.
 - Smoke alarm required to habitable/sleeping areas
 - Access for a person with a disability
 - Means of appropriate escape to an outside space during emergency event
 - Natural light and ventilation to the habitable spaces from an outside source (not from internal hangar area)
 - Damp and weather-proofing of all external walls and junctions.
 - Waterproofing to all wet areas, i.e. bathrooms and laundries.
 - Construction to Bushfire Prone Area (BPA) requirements where the determined Bushfire Attack Level (BAL) is greater than BAL-Low



Requirement for Certified Building Permit Applications

Where building work is proposed, all building permit applications must be submitted as BA1 - Certified Application for Building Permit and accompanied by a Certificate of Design Compliance issued by an independent Building Surveyor as defined in s4 of the *Building Act 2011*. As the development is located

Where one hangar has a class 3 habitable portion that must comply with AS3959, any other hangar within 6m must also comply



on Shire land, the Shire will require independent certification and are not able to provide this service being the permit issuing authority.

Effluent disposal systems

An application to Construct or install and apparatus for the treatment of sewage will be required to be submitted to the Shire's Environmental Health Services department.

The Government Sewerage Policy (2019) must be applied to any new development on this site requiring approval under the *Planning and Development Act 2005*. The airfield is within the estuary catchment on the Swan Coastal Plain and is 1km of significant wetlands. Future unsewered development would need to be serviced by secondary wastewater treatment and disposal systems with nutrient retention.

The connection of any additional hangars into any existing septic systems onsite cannot be supported.







Gas bottles

- Gas bottles will be managed in accordance with all relevant legislation.
- All Health, Engineering and Planning requirements must all be met prior to the issuance of a Building Permit.



Annexure 2 – Site development plan for the Serpentine Airfield



	Bushforever
	Protected area (Includes infrastructure)
	Buffer zone
	Existing hangars
	Runway
	Bowser



Bush Forever: Vegetation is to remain and is to be managed by the SABC. There is to be no development without Shire approval.

Protect Area: No development to occur without without Shire approval. Existing infrastructure within the area to remain.

Existing Hangars: Hangars may be used for overnight accommodation if neccesary measures have been taken.

Buffer Zone: Vegetation within this area is to be managed effectively to provide a buffer zone between the bushforever area and the existing hangars. The management of the area is to be done by the SABC.

Runaway: Existing runaway in place. Any changes and/or extensions to the existing runway will require Shire approval.

Bowser: Any relocation or alteration to the fuel bowser is not permitted without the approval of the Shire.