

DETAILED AREA PLAN R-CODE VARIATIONS

R-CODING

1. The R20 and R25 Residential Density Codes apply as identified on the plan.

TOWN PLANNING SCHEME NO.2 AND RESIDENTIAL DESIGN CODE VARIATIONS

- Town Planning Scheme No.2 and Residential Design Codes are varied as described in these notations.
- The requirements of Town Planning Scheme No.2 and Residential Design Codes shall be satisfied in all other matters.
- Planning approval is not required, but a Building Licence is required, for the construction of a dwelling on any lot within the area covered by the Detailed Area Plan (including lots with a land area less than 350 square metres) except where variations to the provisions of the Detailed Area Plan are sought.

DESIGN ELEMENTS

- The following matters apply to the development of lots affected by the Detailed Area Plan:
 - All dwellings and garages (including patios and gazebos) must be constructed within the nominated building envelope;
 - At least one major opening to an indoor living area is to be installed on the northern elevation of a dwelling in order to maximise solar orientation for Lots 1080, 1163-1170 and 1329-1333. For all other lots this design element is encouraged but not required.
 - Dwellings are required to suitably address all adjacent street frontages as indicated to maximise visual surveillance. A secondary street elevation shall feature a suitable level of detail in a manner consistent with the primary street elevation.
 - No solid fencing shall be permitted forward of the established building line.
 - Location of studios and/or balconies abutting laneways is encouraged for increased surveillance through activity.
 - Dwellings on laneway lots shall be designed to address the primary street frontage with major openings and the main entry accessible via this frontage.
 - Lots 1162, 1193 and 1195-1198 that overlook Public Open Space shall be suitably designed and orientated to ensure passive surveillance of the Public Open Space. Dwellings shall have one or more major openings to a habitable room and an outdoor living area facing the POS.
 - On lots designated R25 (excluding Lots 1171-1178, 1185-1187 & 1194), a storeroom of minimum 4m² floor area shall be integrated into the dwelling (i.e. under the same roof) and constructed of the same materials. No additional sheds or outbuildings will be permitted on these lots.
 - For all R20 lots and Lots 1171-1178, 1185-1187 & 1194 the minimum open space requirement is 40%, provided that an outdoor living area is orientated to the north or at least has exposure to northern solar access, has a minimum width and length of 4m and has 50% of its required area without permanent roof cover.
 - For R25 lots (excluding Lots 1171-1178, 1185-1187 & 1193-1198), the minimum open space requirement is 40%. For Lots 1193 and 1195-1198, the minimum open space requirement is 35%.

SETBACKS

6. Setbacks for development shall be in accordance with the following: (except where noted, all other setbacks shall be in accordance with R-Codes):

a) R20 Front Loaded and R25 Front Loaded (Lots 1171-1178, 1185-1187 & 1194 only)

Primary Street: Minimum 3.0m setback to dwelling.
Minimum 4.5m setback to garage.

b) R25 Laneway (excluding Lots 1171-1178, 1185-1187 & 1194)

Primary Street: For Lots 1080 & 1163-1170, portion of the dwelling to be located between 3.0m and 3.5m from front boundary.

Rear: For Lots 1329-1333, portion of the dwelling to be located between 2.5m and 3.5m from front boundary.
Minimum 1.5m setback to dwelling.
Minimum 0.5m setback to garage.

Nil setback for studio (above garage).

Side: Nil setback for house and garage to nominated side boundary for a total maximum 2/3 length of boundary.

Minimum 1m setback to secondary street for corner lots.

Other: Minimum 2m solar setback (non-parapet side boundary). Building part of the dwelling within the 2m solar setback is limited to minor incursions to a maximum of 20% of the designated solar setback area, provided solar penetration to living areas is achieved. Garages may be located within the designated solar setback.

Minimum 1.6m side setback to upper storey to preserve solar penetration.

c) R25 Abutting Public Open Space

Primary Street: Minimum 3.0m setback to dwelling.

Minimum 4.5m setback to garage.

POS: Minimum 3.0m setback for dwelling.

Minimum 5.0m upper storey setback to POS.

Side setback: Nil setback for dwelling (and garage) to nominated side boundary for a total maximum 2/3 length of boundary. For Lots 1195-1197, an additional nil setback is permitted to the opposite boundary for the garage only.

For Lots 1193 and 1198, a 1.5m minimum dwelling setback is permitted to side POS boundaries. Minimum 2m solar setback (non parapet side boundary). Building part of the dwelling within the 2m solar setback is limited to minor incursions to a maximum of 20% of the designated solar setback area, provided solar penetration to living areas is achieved.

Minimum 1.6m side setback to upper storey to preserve solar penetration.

GARAGES AND ACCESS

- For Lots 1171-1178, primary vehicle access must be obtained from Hanretty Road (Primary Street).
 - For laneway lots (excluding Lots 1171-1178), garage locations are to be in accordance with the locations identified on the DAP. Access to the garage shall only be taken from the laneway.
 - Each house shall have a driveway and crossover completed prior to occupation of the house.
 - Maximum width of crossover shall be 6 metres. Reduced crossover widths are strongly encouraged to facilitate tree retention for Lots 1341-1344.
 - All driveways and crossovers shall be brick paved or other suitable material (but not asphalt) to the satisfaction of the Shire and Developer.
 - For all lots, no adjoining landowner consultation is required where garages are built with a nil side setback.

FENCING

- All fencing within the estate will be provided and installed by the Developer. No additional fencing (other than side return panels) shall be erected without consultation and approval of the Developer. In the exceptional circumstance that front fencing is permitted, it shall be erected in accordance with the Developer's specific requirements.
 - All side boundary fencing behind the front building line is to be 1.8 metres high and fully installed prior to occupation of the dwelling.

NOTIFICATION TO PROSPECTIVE PURCHASERS

- The Developer is required to give prospective purchasers a complete copy of all the requirements of this Detailed Area Plan prior to Offer and Acceptance being made.



LEGEND

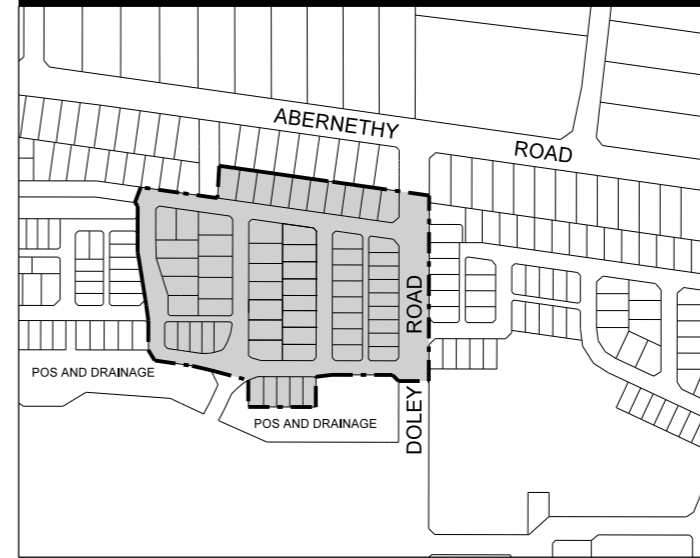
- Extent of Detailed Area Plan
- Building Envelope
- Designated Garage Location
- Preferred Garage Location
- 1.6m Minimum Setback for Second Storey
- Retaining Walls
- Existing Trees to be retained where possible
- Designated Side Nil Setback
- No Vehicle Access
- Optional Studio House Preferred Location
- Indicative Stair Access Location
- Second Storey Zone

ENDORSEMENT TABLE

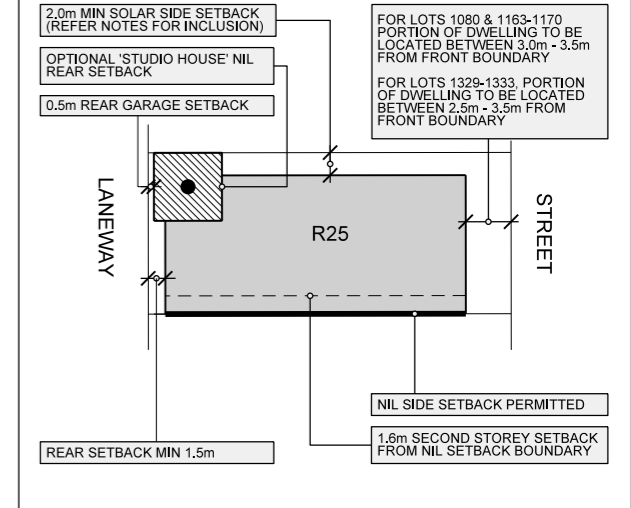
Detailed Area Plan approved pursuant to CI 5.18.5.1 (c) of Town Planning Scheme No.2

Authorised officer _____ Date 3 April 2012

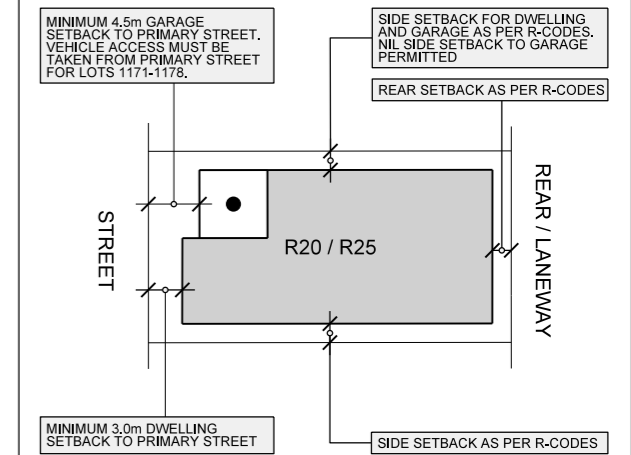
LOCATION PLAN



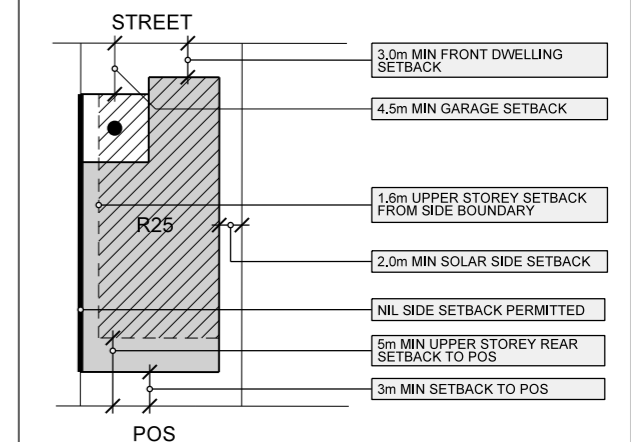
SPECIFIC REQUIREMENTS FOR R25 LOTS (1080, 1163-1170, & 1329-1333)



SPECIFIC REQUIREMENTS FOR ALL R20 LOTS, R25 LOTS (1171-1178, 1185-1187 & 1194 ONLY)



SPECIFIC REQUIREMENTS R25 LOTS (1193 & 1195-1198 ONLY)



Detailed Area Plan - Stage 8A and 8B (WAPC Refs: 136679 and 142531)

THE GLADES, BYFORD

A LWP BYFORD SYNDICATE PTY LTD PROJECT

date: 06/01/08BE
 checked: JCB
 date: 29/02/2012
 projection: PCG 94
 designed: JCB
 checked: JCB
 drawn: JCB
 scale: 1:1500@A3 | 1:750@A1
 0 15 30m
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