

Local Development Plan R-Code Variations'

1 SCHEME AND RESIDENTIAL DESIGN CODE VARIATIONS

- 1.1 Town Planning Scheme No.2 and the Residential Design Codes are varied as described in these notations.
 1.2 The requirements of Town Planning Scheme No.2 and the Residential Design Codes shall be satisfied in all other matters.
 1.3 Planning approval is not required, but a Building Permit is required, for the construction of a dwelling on any lot within the area covered by the Local Development Plan (LDP) (including lots with a land area less than 260m²) except where variations to the provisions of the LDP are sought.

2 R- CODING

Lots Applicable	R-Code Density
Lots 366-371, 377-382 & 1680-1682	R30
Lots 372-373, 388, 1661-1663	R40
Lots 358-365 & 1711-1712	R50
Lots 384-387 & 1326	R60

3 STREETScape REQUIREMENTS

Setbacks	Lots Applicable	Minimum	Maximum	Averaging	
Primary Street	Portion of Dwelling	Lots 366-373, 1680-1682 & 1326	2.5m	3.5m	• Averaging is not required.
	Dwelling	Lots 377-382	3.0m	N/A	• Averaging is not permitted to minimum.
	Garage	Lots 377-382	4.5m	N/A	• Averaging is not permitted to minimum.
Secondary Street	Building	Lot 1326 (Doley & Casterton Roads)	2.0m	N/A	• Averaging is not permitted to minimum.
	All remaining lots	All remaining lots	1.0m	N/A	• Averaging is not permitted to minimum.
Laneway (and laneway truncation where applicable)	Garage or Carport	Lots 384-388 & 1661-1663	1.0m	N/A	• Averaging is not permitted to minimum.
	All remaining lots	All remaining lots	0.5m	N/A	• Averaging is not permitted to minimum.
	Rear of Dwelling	All laneway lots	1.5m	N/A	• Averaging is not permitted to minimum.
Studio/Balcony	All laneway lots (where located above garage)	0m	N/A	• Averaging is not required.	

- 3.1 Dwellings are required to suitably address all adjacent street frontages as indicated to maximise visual surveillance. All visible house elevations (from building line to erected fence) from the secondary street shall feature a suitable level of detail in a manner consistent with the primary street elevation.
 3.2 For Lot 1326, street walls and fences to Doley & Casterton Roads shall be visually permeable for the extent that allows an unobstructed view of the public realm from at least one or more major opening(s) of each dwelling.
 3.3 For all lots, no adjoining consultation is required where garages are built to one side boundary.

4 BOUNDARY SETBACK REQUIREMENTS

Setbacks	Lots Applicable	Requirements
Buildings on boundary (other than Street boundaries)	Lots 358-365, 384-388, 1661-1663 & 1711-1712	• Buildings built up to two side boundaries at the ground level are permitted for a maximum total length determined by the front and rear setbacks.
	Lots 366-373, 377-382 & 1680-1682	• Buildings built up to one side boundary are permitted for a total maximum 2/3 length of boundary. • Buildings built up to second side boundary are permitted for purposes of garage/store only – 9.0m maximum length.

5 SPECIAL PROVISIONS FOR LOTS ADJOINING POS

Setbacks	Lots Applicable	Minimum	Maximum	Averaging	
Public Open Space (POS) (denoted Secondary Frontage on LDP)	Building fronting onto POS	Lots 358-365, 384-387, 1661-1663 & 1711-1712	3.0m	N/A	• Averaging permitted (as per R-Codes)
	Building backing onto POS	Lots 377-382 & 1326	3.0m	N/A	• Averaging permitted (as per R-Codes)
	Building siding onto POS	Lot 382	1.5m	N/A	• Averaging is not permitted to minimum.

- 5.1 Lots 358-365, 377-382, 384-388, 1661-1663 & 1711-1712 that overlook POS shall be suitably designed to ensure passive surveillance of the POS. Dwellings shall have one or more major openings to a habitable room facing and allowing an unobstructed view of the POS.

6 OPEN SPACE REQUIREMENTS

Open Space Provision	R60 Lots Applicable	Minimum	Requirements
	R60 Lots	30%	• Outdoor Living Area (OLA) shall be located to maximise northern or eastern solar access.
	R50 Lots	30%	• OLA shall be located to maximise northern or eastern solar access.
	R30 & R40 Lots	35%	• OLA shall be located to maximise northern or eastern solar access.

7 INCIDENTAL DEVELOPMENT REQUIREMENTS

- 7.1 For Lots 366-371 & 1680-1682, a storeroom of minimum 4m² floor area shall be integrated into the dwelling and / or garage (i.e. under the same

Legend

- Extent of Local Development Plan
- R30 Subject Lots
- R40, R50 & R60 Subject Lots
- Designated Garage Location
- Indicative Stair Access Location
- Retaining Walls (by developer)
- No Vehicle Access Permitted
- Primary Frontage
- Secondary Frontage
- Visually Permeable Fencing (by developer)



Location Plan

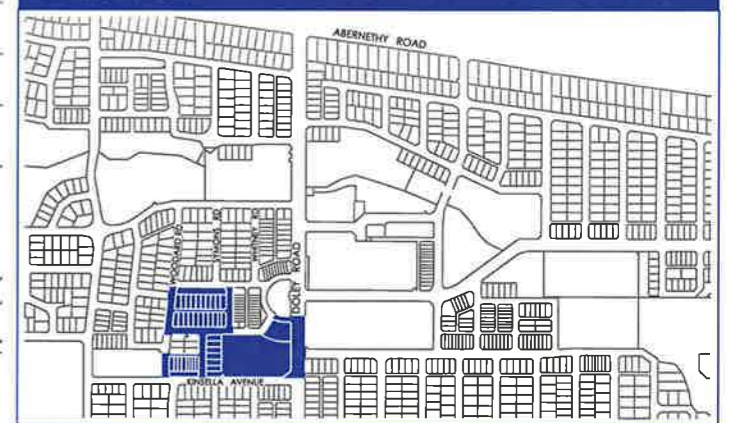


Illustration Of Typical LDP Requirements For R30 Front Loaded Adjoining Pos

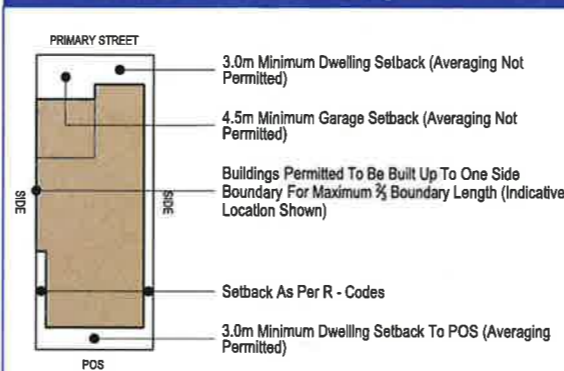


Illustration Of Typical LDP Requirements For R30 Laneway

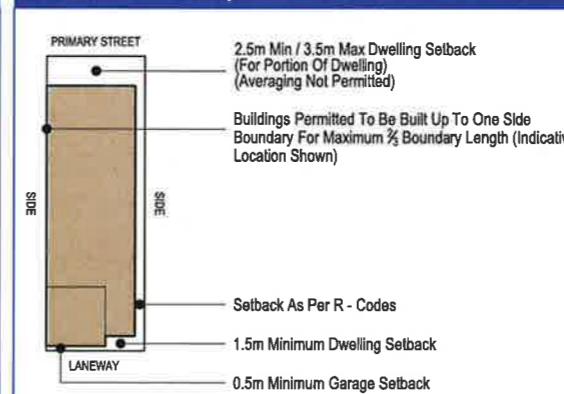
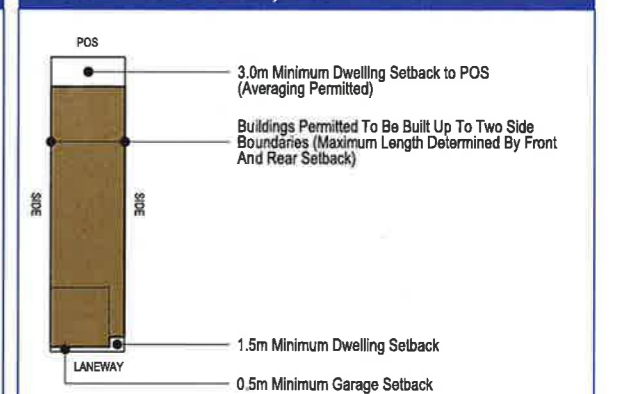


Illustration Of Typical LDP Requirements For R40/50 Laneway Lots



REVISED LOCAL DEVELOPMENT PLAN - WOODLAND GROVE STAGE 3
 Glades, Byford
 An LWP Byford Syndicate Pty Ltd Project



ENDORSEMENT TABLE

Local Development Plan approved pursuant to Schedule 2, Part 6, cl. 52 of the Planning and Development (Local Planning Schemes) Regulations 2015

Authorised Officer

Date

[Signature]
 4/9/17



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