

LEGEND

- Preferred garage location
- Designated garage location
- Building envelopes
- Uniform fencing to be provided by developer (and no vehicle access)

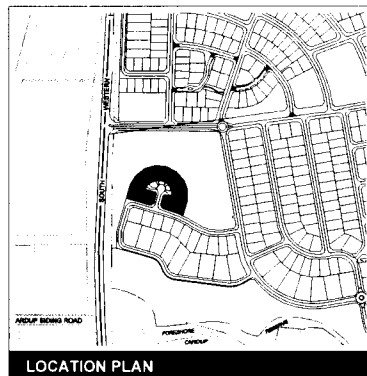
MINIMUM 2.0m SOLAR SIDE SETBACK

DWELLING SETBACK 3.0m (min) FROM REAR BOUNDARY

2.0m MINIMUM FRONT SETBACK

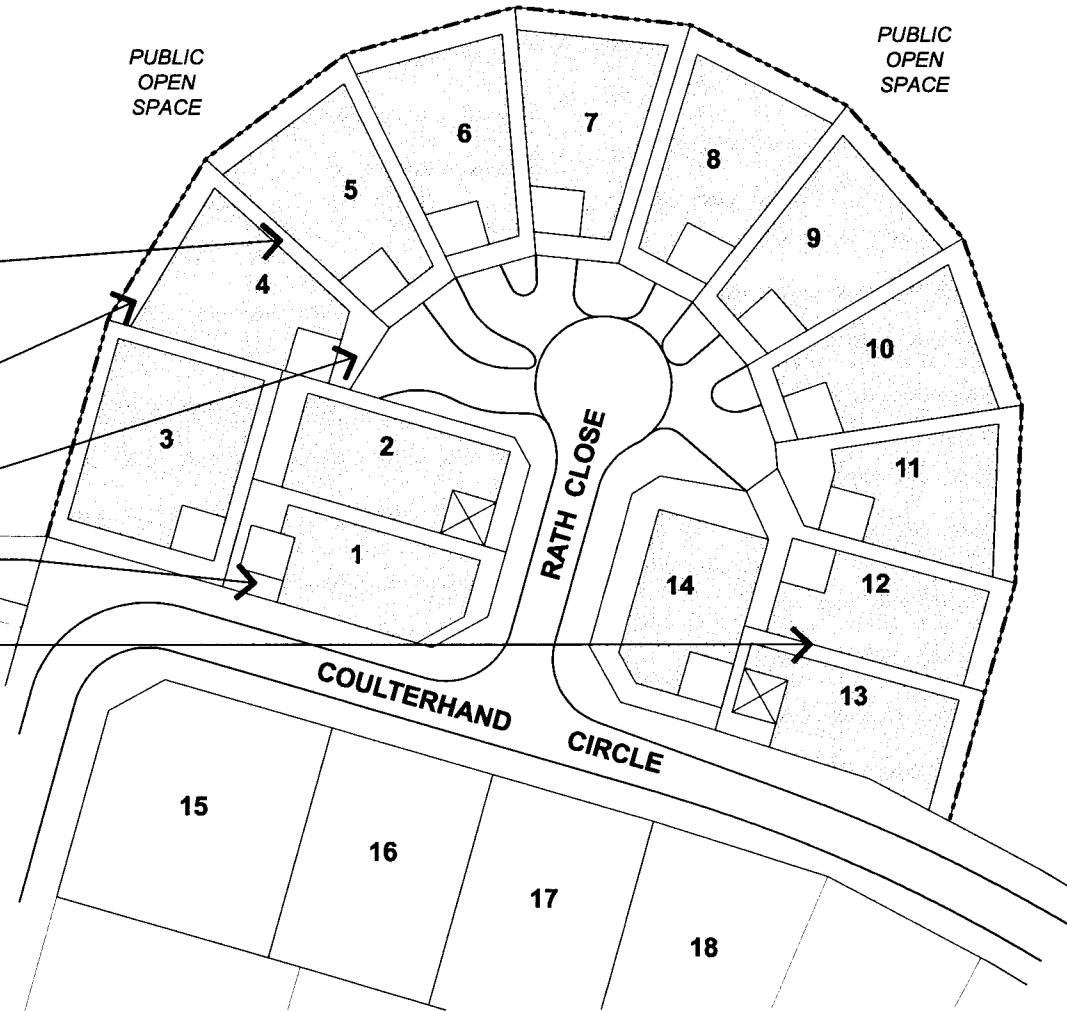
3.0 MINIMUM GARAGE SETBACK

SIDE SETBACK IN ACCORDANCE WITH R-CODE CLAUSE 3.3.2



PUBLIC OPEN SPACE

PUBLIC OPEN SPACE



DETAILED AREA PLAN R-CODE VARIATIONS

The District Town Planning Scheme and R-Codes are varied in the following manner.

R CODING

1. Density Coding is R40.

SCHEME & RESIDENTIAL DESIGN CODE VARIATIONS

2. The requirements to consult with adjoining or other land owners to achieve a variation to the R-Codes is not required.
3. Council has discretion to vary the provisions of the Detailed Area Plan (including setbacks and garage locations) to improve solar penetration.

DESIGN ELEMENTS

4. Only one dwelling is permitted per lot.
5. The dwellings (including patios and gazebos) must be located within the building envelopes where shown.
6. Development shall be designed so that its shadow cast at midday 21 June, onto any adjoining property does not exceed 40% of the adjoining property's site area.
7. A minimum open space of 40% is applicable.
8. Building part of the main residence on the allotment boundary within the 2 metre solar setback is permitted if:
 - a) The 2 metre solar setback to the northern boundary (except for minor incursions, such as a chimney) is maintained to a minimum of 70% of the north elevation of the dwelling including solar penetration of living areas; and
 - b) access to the rear of the property is maintained from outside the dwelling.
9. Dwellings must be suitably designed and orientated to ensure passive surveillance of areas of public open space. This is to be achieved by ensuring that major openings and living areas face towards the public open space.

GARAGES, VEHICULAR ACCESS AND DRIVEWAYS

10. The minimum garage setback shall be 3.0 metres from the primary street.
11. Garages / carports may be located within the 2 metre solar setback.

FENCING

12. Fencing on boundaries facing the public open space shall be designed and constructed in accordance with clause 3.2.5 A5 of the Residential Design Codes (open feature fencing).

OUTBUILDINGS, PATIOS AND GAZEBOS

13. Sheds and outbuildings are to be constructed of the same materials and colours as the dwelling where they are visible from the street or public open space.
14. The roofing material used for patios and gazebos shall match the colour of the roof of the dwelling to the satisfaction of the Shire.

WASHING LINES AND RUBBISH BINS

15. Clothes lines and rubbish bins must be screened from public view by masonry walls or other methods of construction to the satisfaction of the Shire to match the dwelling and the walls are to have a minimum height of 1.8 metres.

AIR CONDITIONING / COOLING UNITS AND SOLAR HOT WATER SYSTEMS

16. Air conditioning/cooling units must be of similar colour to the roof and must not protrude above any roof ridges or gables. Units are not to be visible from the adjacent front street or public open space areas and must be positioned to prevent noise impacts in accordance with the Department of Environment's 'Installers Guide to Air Conditioner Noise' Publication.
17. Solar hot water systems must be integrated with the design of the roof, and where visible from the adjacent front street or public open space areas be a split system with the tank installed at ground level or out of public view.

NOISE ATTENUATION

18. Lots adjacent to South Western Highway (Lots 3-7 inclusive) may be affected by traffic noise. Future dwellings on these lots shall be designed and constructed to ameliorate traffic noise and emissions to the satisfaction of the Shire. Construction and mitigation methods shall be in accordance with the Building Code of Australia and relevant Australian Standards.

NOTIFICATION TO PROSPECTIVE PURCHASERS

19. The developer is required to give prospective purchasers a complete copy of all the requirements of this Detailed Area Plan prior to Offer and Acceptance being made.

TAYLOR BURRELL BARNETT
Town Planning and Design
187 Roberts Road Subiaco
Western Australia 6008
Telephone: (08) 9382 2911
Facsimile: (08) 9382 4289
admin@tbbplanning.com.au

**BYFORD BY THE SCARP - STAGE 1D
DETAILED AREA PLAN 2**

CLIENT	DRAWN BY	AMENDMENT	DESCRIPTION	DATE	APPROVAL
LWP ON BEHALF OF BRADWELL PTY LTD	Y.H.				
DATE	PLAN NUMBER	SCALE			
7 AUG 2006	01/090/043a	1:1000			

