

LEGEND

- DAP Boundary
- 1.5m Second Storey Setback

PROVISIONS

The provisions addressed below relate to the neighbourhood node corner Thomas Road and Plaistowe Boulevard, *Byford Central*

Lots 661 and 664 may be subdivided into two lots as depicted on the DAP.

Retail floorspace NL A shall be limited to 75m² for each street corner.

Any development other than a single house requires planning approval.

The following standards represent variations to the R-Codes and operate as Acceptable Development requirements.

GENERAL PROVISIONS

R-Coding	R30	
Minimum Open Space	40%	
Building Setbacks	Minimum	Maximum
Primary Street	4.0m *	6.0m
Secondary Street	1.0m	
Side	As per R Codes	
Second storey	1.5m min. where depicted on plan	

* Porticos and front verandahs are permitted to a minimum setback of 3.0m.

All other setbacks to be in accordance with the R Codes.

BUILDING FACADE

Zero lot line walls shall not project beyond the front facade of the dwellings.

ADVICE NOTES

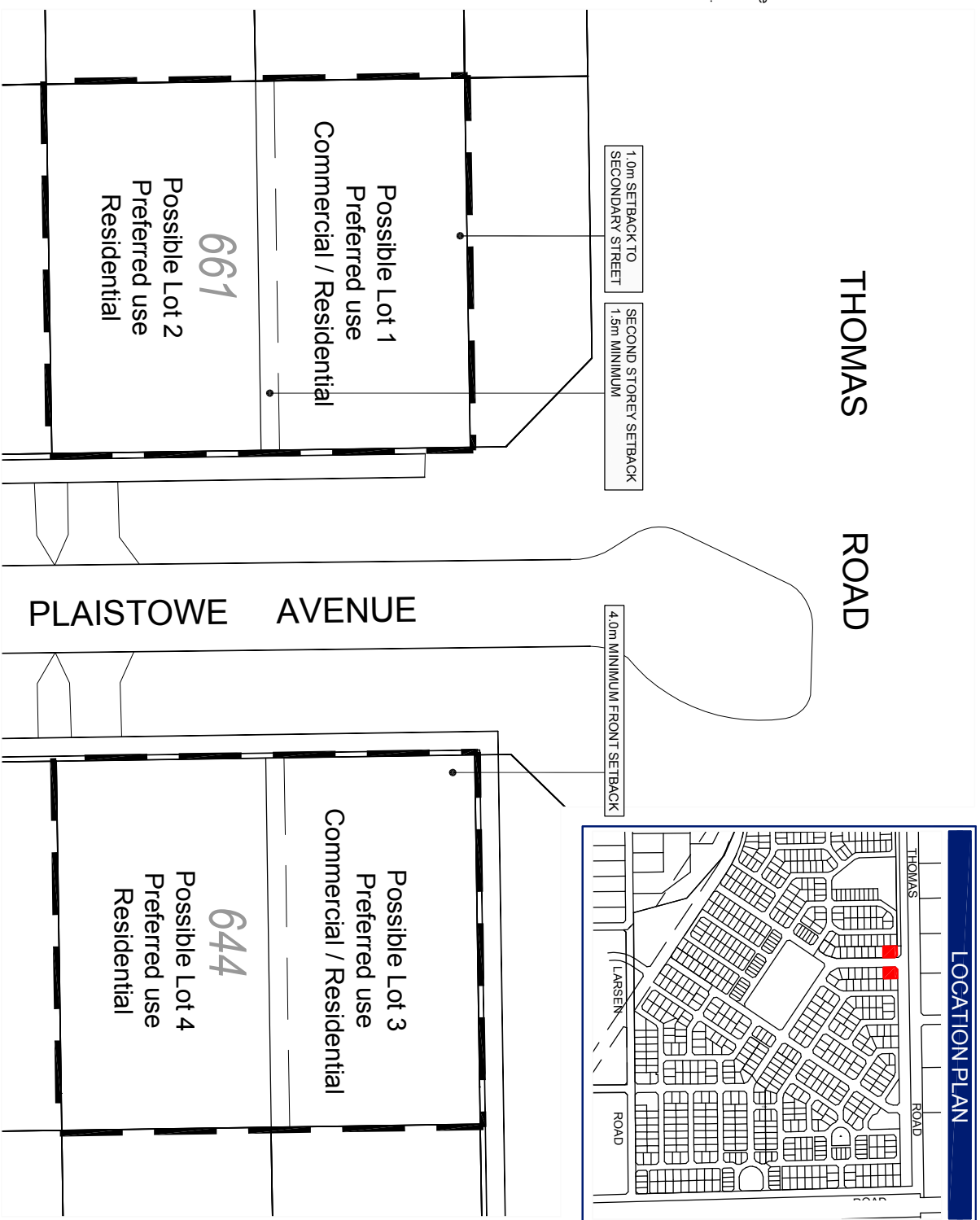
1. Ground level floor to ceiling heights should be a minimum of 3.6m where 2 storey commercial use is proposed.
2. 1 additional car parking bay shall be provided for each lot, or the land equivalent for future construction.
3. Pedestrian shelter in the public realm should be considered.
4. Two storey development to provide for ground floor commercial/non-residential and upper floor residential uses is encouraged.
5. Built form is to be robust enough to allow conversion in the future to a use consistent with the intended form and function of a neighbourhood node.

ENDORSEMENT TABLE

Detailed Area Plan approved pursuant to C15, 18, 1(c) of Town Planning Scheme No. 2

Authorised officer

23 / 2 / 2012
Date



NOTE: Pavements and footpaths shown diagrammatically only

DETAILED AREA PLAN No. 11
PLAISTOWE BOULEVARD
NEIGHBOURHOOD NODE
BYFORD CENTRAL

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