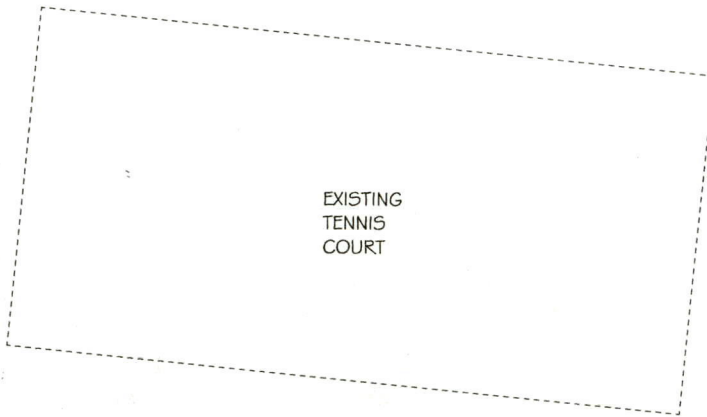




2

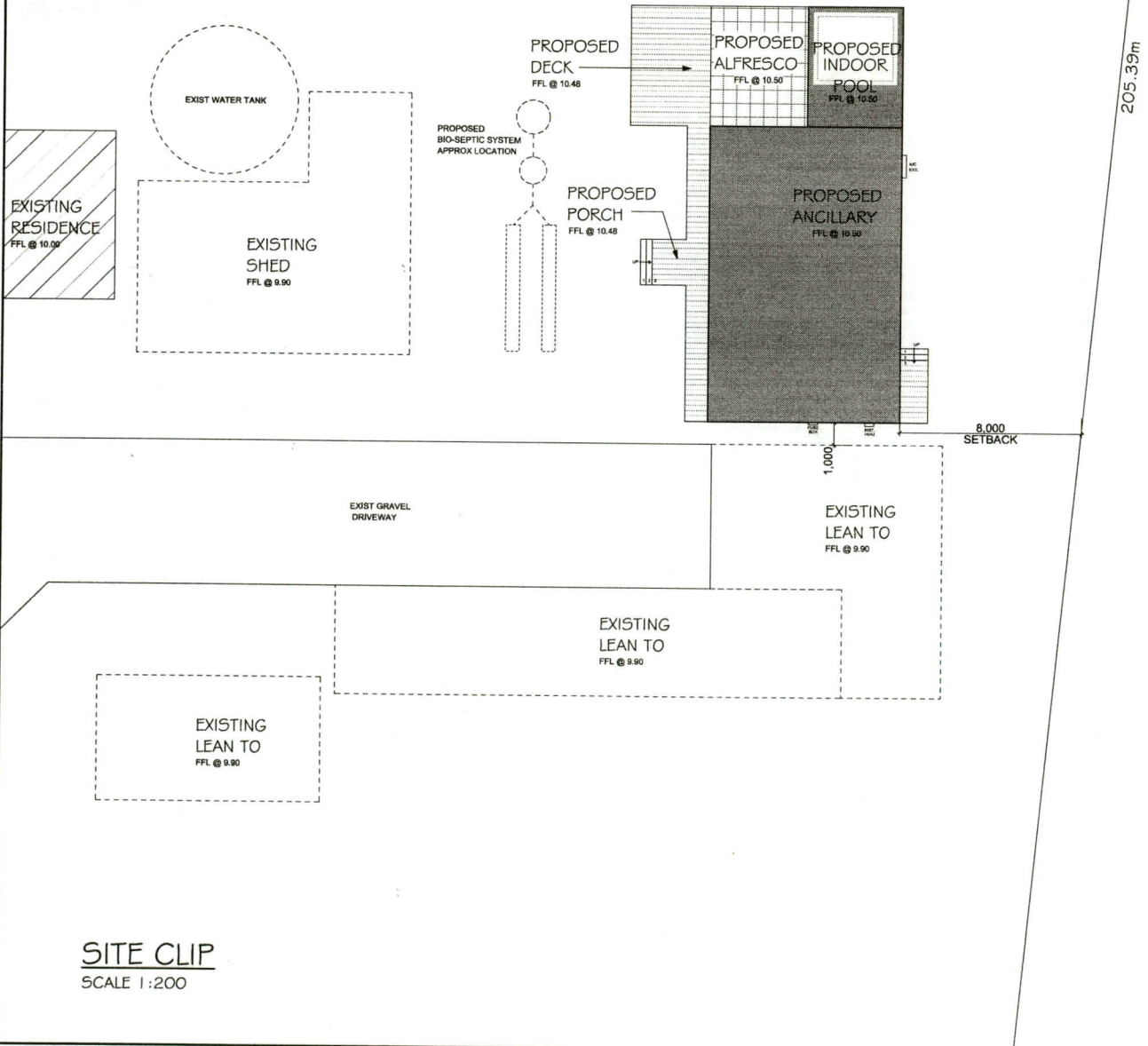


EXISTING  
TENNIS  
COURT

No. 119  
LOT 13  
24071 m<sup>2</sup>

SITE - GENERAL NOTES:

- ALL STORM WATER TO BE DIVERTED INTO RAIN WATER TANKS WITH CONTROLLED OVERFLOW INTO SOAK WELLS



SITE CLIP  
SCALE 1:200



**NORTH COAST DESIGN**  
ph: 08 9535 2055  
admin@ncdesign.com.au  
www.ncdesign.com.au  
PO Box 1354 Mandurah,  
WA 6210

**BUILDER:**

DATE: 15/03/2023  
SCALE: 1:200 @ A3  
DRAWN: AC

REVISION:  
A

DRAWING No.  
2:4

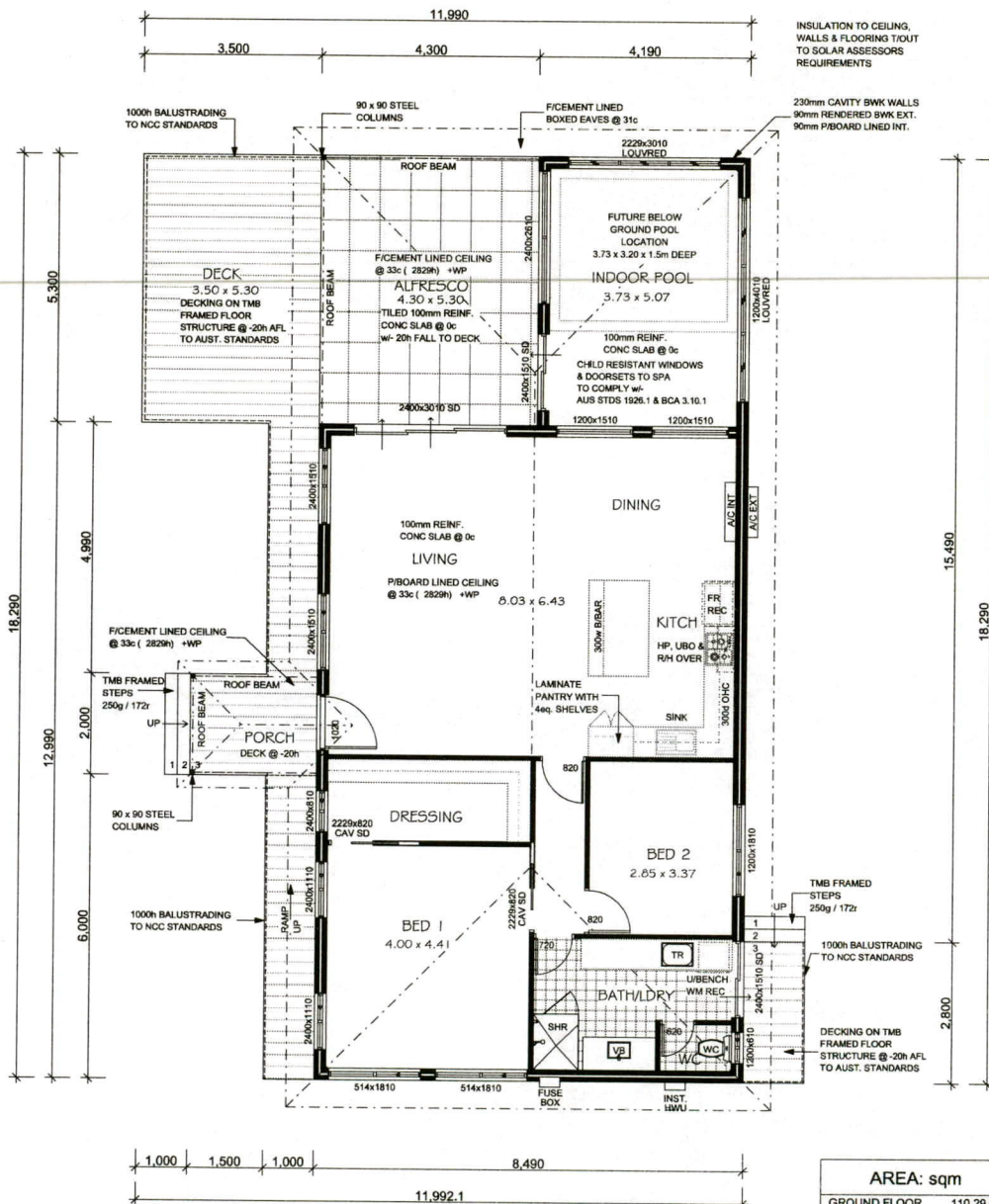
**JOB:**  
PROPOSED ANCILLARY  
LOT 13, No. 119, PETERS WAY,  
OAKFORD

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**NOTES:**  
- ALL WORKMANSHIP & MATERIAL TO BE IN ACCORDANCE WITH ALL RELEVANT AUSTRALIAN STANDARDS, NCC REQUIREMENTS & LOCAL COUNCIL REQUIREMENTS  
- DO NOT SCALE DRAWINGS  
- CONTRACTORS MUST VERIFY ALL DIMENSIONS ON THE SITE PRIOR TO THE COMMENCEMENT OF ANY WORK OR THE PRODUCTION OF ANY SHOP DRAWINGS WHICH MUST BE SUBMITTED AND APPROVED BEFORE MANUFACTURE

**SHEET:**  
SITE CLIP

3



ANCILLARY FLOOR PLAN  
SCALE 1:100

AREA: sqm	
GROUND FLOOR	110.29 sqm
PORCH	5.00 sqm
ALFRESCO	22.79 sqm
DECK	23.60 sqm
POOL	22.21 sqm
<b>TOTAL</b>	<b>183.86 sqm</b>



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 WA 6210

**BUILDER:**

DATE: 15/03/2023  
 SCALE: 1:100 @ A3  
 DRAWN: AC

REVISION:  
**A**

DRAWING No.  
**3:4**

**JOB:**  
 PROPOSED ANCILLARY  
 LOT 13, No. 119, PETERS WAY,  
 OAKFORD

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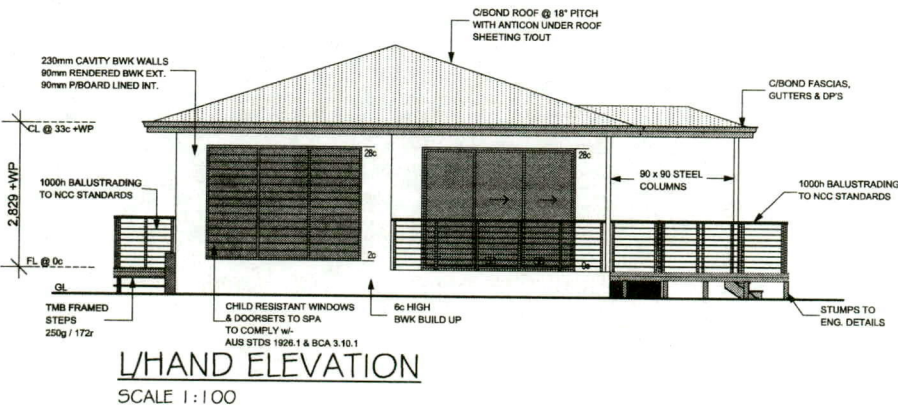
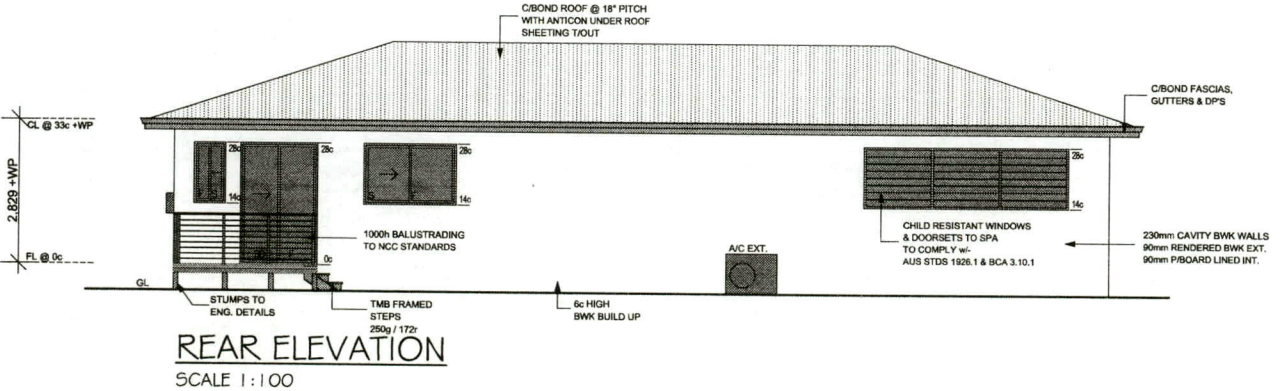
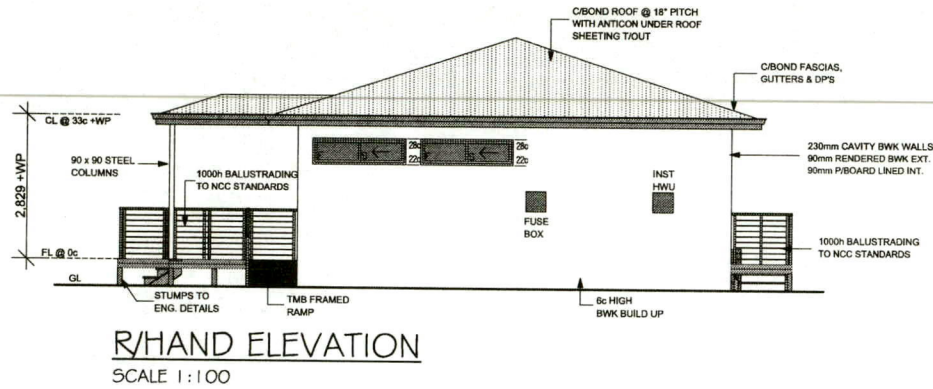
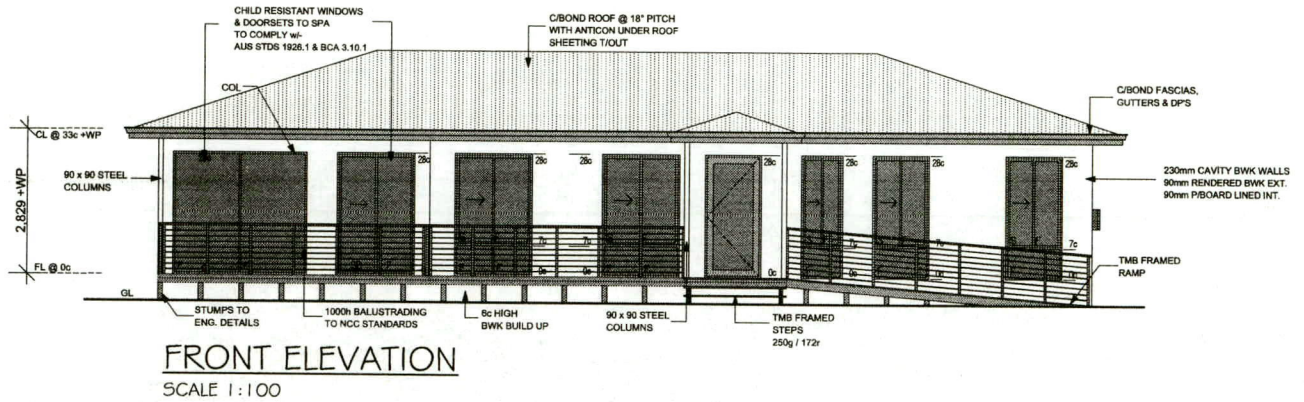
**NOTES:**  
 - ALL WORKMANSHIP & MATERIAL TO BE IN ACCORDANCE WITH ALL RELEVANT AUSTRALIAN STANDARDS, NCC REQUIREMENTS & LOCAL COUNCIL REQUIREMENTS  
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 - CONTRACTORS MUST VERIFY ALL DIMENSIONS ON THE SITE PRIOR TO THE COMMENCEMENT OF ANY WORK OR THE PRODUCTION OF ANY SHOP DRAWINGS WHICH MUST BE SUBMITTED AND APPROVED BEFORE MANUFACTURE

**SHEET:**

ANCILLARY FLOOR PLAN

4

**GENERAL NOTE:**  
- WALL & ROOF FINISHES TO MATCH EXISTING RESIDENCE



<p><b>NORTH COAST DESIGN</b></p>	<p><b>NORTH COAST DESIGN</b> ph: 08 9535 2055 admin@ncdesign.com.au www.ncdesign.com.au PO Box 1354 Mandurah, WA 6210</p> <p><small>Copyright of North Coast Design Pty Ltd 2022©</small></p>	<p><b>BUILDER:</b></p>	<p><b>DATE:</b> 15/03/2023 <b>SCALE:</b> 1:100 @ A3 <b>DRAWN:</b> AC</p>	<p><b>REVISION:</b> A</p>	<p><b>DRAWING No.</b> 4:4</p>	<p><b>JOB:</b> PROPOSED ANCILLARY LOT 13, No. 119, PETERS WAY, OAKFORD</p>
	<p><b>NOTES:</b></p> <ul style="list-style-type: none"> <li>- ALL WORKMANSHIP &amp; MATERIAL TO BE IN ACCORDANCE WITH ALL RELEVANT AUSTRALIAN STANDARDS, NCC REQUIREMENTS &amp; LOCAL COUNCIL REQUIREMENTS</li> <li>- DO NOT SCALE DRAWINGS</li> <li>- CONTRACTORS MUST VERIFY ALL DIMENSIONS ON THE SITE PRIOR TO THE COMMENCEMENT OF ANY WORK OR THE PRODUCTION OF ANY SHOP DRAWINGS WHICH MUST BE SUBMITTED AND APPROVED BEFORE MANUFACTURE</li> </ul>					



## **Bushfire Attack Level (BAL) Report and Certificate**

**Proposed Ancillary Dwelling at: Lot 13 (#119) Peters Way, Oakford, WA,  
6121**

**Client: Malcom Rodgers**

**Report Number: 23-15075**

**Assessment Date: 26 April 2023**

**Report Date: 20 July 2023**

# Bushfire Attack Level (BAL) Certificate

Determined in accordance with AS 3959-2018

This Certificate has been issued by a person accredited by Fire Protection Association Australia under the Bushfire Planning and Design (BPAD) Accreditation Scheme. The certificate details the conclusions of the full Bushfire Attack Level Assessment Report (full report) prepared by the Accredited Practitioner.



## Property Details and Description of Works

Address Details	Unit no	Street no	Lot no	Street name / Plan Reference		
		119	13	Peters Way		
	Suburb			State	Postcode	
	Oakford			WA	6121	
Local government area	Shire of Serpentine-Jarrahdale					
Main BCA class of the building	Class 1a	Use(s) of the building	Residential Dwelling			
Description of the building or works	Ancillary Dwelling					

## Determined Bushfire Attack Level

AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class D Scrub	Flat/Upslope	45.9m	BAL – 12.5

## BPAD Accredited Practitioner Details

Name	Signature	 <p>Billy Hulands Level 1 BPAD Accredited Assessor Accreditation No.: BPAD 59401</p> <p><b>BPAD</b> Bushfire Planning &amp; Design Accredited Practitioner Level 1</p> <p>Authorised Practitioner Stamp</p>
Billy Hulands		
Company Details	Bushfire Smart	
I hereby certify that I have undertaken the assessment of the above site and determined the Bushfire Attack Level stated above in accordance with the requirements of AS 3959-2018.		

Reliance on the assessment and determination of the Bushfire Attack Level contained in this report should not extend beyond a period of 12 months from the date of issue of the report. If this report was issued more than 12 months ago, it is recommended that the validity of the determination be confirmed with the Accredited Practitioner and where required an updated report issued.

**Site Assessment & Site Plans**

The assessment of this site was undertaken on 26 April 2023 by a BPAD Accredited Practitioner for the purpose of determining the Bushfire Attack Level in accordance with AS 3959–2018 Simplified Procedure (Method 1).



<b>Figure 1: Vegetation Classification</b>		<b>Legend</b>	
<b>Lot 13 (#119) Peters Way, Oakford, WA, 6121</b>		<ul style="list-style-type: none"> <li><span style="display: inline-block; width: 15px; height: 10px; border: 1px solid red; margin-right: 5px;"></span> Subject Lot</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: blue; margin-right: 5px;"></span> Proposed Development</li> <li><span style="display: inline-block; border: 2px solid black; width: 15px; height: 10px; margin-right: 5px;"></span> 100 Metre Line</li> <li><span style="display: inline-block; border: 2px solid yellow; width: 15px; height: 10px; margin-right: 5px;"></span> 150 Metre Line</li> </ul>	<ul style="list-style-type: none"> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #d3d3d3; margin-right: 5px;"></span> Class A- Forest</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #c0c0c0; margin-right: 5px;"></span> Class B - Woodland</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #808080; margin-right: 5px;"></span> Class C- Shrubland</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #696969; margin-right: 5px;"></span> Class D - Scrub</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #a9a9a9; margin-right: 5px;"></span> Class G - Grassland</li> <li><span style="display: inline-block; border: 1px dashed black; width: 15px; height: 10px; margin-right: 5px;"></span> Exclusions</li> <li><span style="display: inline-block; border: 2px solid blue; width: 15px; height: 10px; margin-right: 5px;"></span> 20m Asset Protection Zone (APZ)</li> <li><span style="display: inline-block; width: 0; height: 0; border-left: 5px solid transparent; border-right: 5px solid transparent; border-bottom: 10px solid orange; margin-right: 5px;"></span> Photo Locations</li> <li><span style="display: inline-block; border-bottom: 1px solid black; width: 15px; margin-right: 5px;"></span> Dimensions</li> </ul>
Assessment Date: 26 April 2023 Prepared by: Billy Hulands Accreditation Level: 1 Accreditation Number: 59401			


## Vegetation Classification

All vegetation within 100m of the site / proposed development was classified in accordance with Clause 2.2.2.3 of AS 3959 – 2018. Each distinguishable vegetation plot with the potential to determine the Bushfire Attack Level is identified below.

<b>Plot:</b>	<b>1</b>	<b>Vegetation Classification or Exclusion Clause</b>	Class A Forest - Open forest A-03
<b>Description / Justification for Classification</b>			
Forest with mature trees spaced along street verge with young trees, scrub, shrubs, and unmanaged grasses throughout understory. Plot has high overstory foliage (>40%)			
DIRECTION 231 deg(T) 32.19436°S 115.93480°E ACCURACY 8 m DATUM GDA2020		DIRECTION 263 deg(T) 32.19457°S 115.93472°E ACCURACY 5 m DATUM GDA2020	
119 Peters Way 2023-04-26 10:31:09+08:00		119 Peters Way 2023-04-26 10:31:39+08:00	
<b>Photo ID: 1</b>		<b>Photo ID: 2</b>	

<b>Plot:</b>	<b>2</b>	<b>Vegetation Classification or Exclusion Clause</b>	Class D Scrub - Closed scrub D-13
<b>Description / Justification for Classification</b>			
Closed Scrub extending along subject lot and neighbouring lot boundary. Scrub is up to 5m with semi-managed grassy understory.			
DIRECTION 286 deg(T) 32.19409°S 115.93500°E ACCURACY 15 m DATUM GDA2020		DIRECTION 25 deg(T) 32.19467°S 115.93469°E ACCURACY 5 m DATUM GDA2020	
119 Peters Way 2023-04-26 10:33:23+08:00		119 Peters Way 2023-04-26 10:32:10+08:00	
<b>Photo ID: 3</b>		<b>Photo ID: 4</b>	



<b>Plot:</b>	<b>3</b>	<b>Vegetation Classification or Exclusion Clause</b>	<b>Class G Grassland – Open tussock G-23</b>
<b>Description / Justification for Classification</b>			
Grassland on nearby lots is largely managed with low overstory foliage (<10%)			
DIRECTION 311 deg(T) 32.19396°S 115.93486°E ACCURACY 5 m DATUM GDA2020		DIRECTION 277 deg(T) 32.19305°S 115.93504°E ACCURACY 5 m DATUM GDA2020	
 <p>119 Peters Way 2023-04-26 10:33:46+08:00</p>		 <p>119 Peters Way 2023-04-26 10:37:12+08:00</p>	
<b>Photo ID: 5</b>		<b>Photo ID: 6</b>	

<b>Plot:</b>	<b>4</b>	<b>Vegetation Classification or Exclusion Clause</b>	<b>Class A Forest - Low open forest A-04</b>
<b>Description / Justification for Classification</b>			
Forest on nearby lot has largely managed understory with occasional scrub, and high foliage cover (>30%)			
DIRECTION 62 deg(T) 32.19290°S 115.93513°E ACCURACY 5 m DATUM GDA2020		DIRECTION 100 deg(T) 32.19335°S 115.93531°E ACCURACY 12 m DATUM GDA2020	
 <p>119 Peters Way 2023-04-26 10:37:33+08:00</p>		 <p>119 Peters Way 2023-04-26 10:41:23+08:00</p>	
<b>Photo ID: 7</b>		<b>Photo ID: 8</b>	

<b>Plot:</b>	<b>5</b>	<b>Vegetation Classification or Exclusion Clause</b>	<b>Excludable - 2.2.3.2(f) Low Threat Vegetation</b>
<b>Description / Justification for Classification</b>			
Neighbouring lots and street verges have short, cropped grasses <100mm with small clumps of scrub with managed understory. Subject lot and neighbouring lots have single files to trees extending along lot boundaries. Trees and under pruned to 2m with short, cropped grasses throughout understory.			
<p>DIRECTION 132 deg(T) 32.19413°S 115.93499°E ACCURACY 5 m DATUM GDA2020</p> <p>119 Peters Way 2023-04-26 10:33:14+08:00</p>		<p>DIRECTION 173 deg(T) 32.19305°S 115.93524°E ACCURACY 5 m DATUM GDA2020</p> <p>119 Peters Way 2023-04-26 10:39:42+08:00</p>	
<b>Photo ID: 9</b>		<b>Photo ID: 10</b>	

<b>Plot:</b>	<b>5</b>	<b>Vegetation Classification or Exclusion Clause</b>	<b>Excludable - 2.2.3.2(f) Low Threat Vegetation</b>
<b>Description / Justification for Classification</b>			
Neighbouring lots and street verges have short, cropped grasses <100mm with small clumps of scrub with managed understory. Subject lot and neighbouring lots have single files of trees extending along lot boundaries. Trees and under pruned to 2m with short, cropped grasses throughout understory.			
<p>DIRECTION 293 deg(T) 32.19420°S 115.93582°E ACCURACY 5 m DATUM GDA2020</p> <p>119 Peters Way 2023-04-26 10:54:56+08:00</p>		<p>DIRECTION 113 deg(T) 32.19406°S 115.93564°E ACCURACY 5 m DATUM GDA2020</p> <p>119 Peters Way 2023-04-26 10:54:21+08:00</p>	
<b>Photo ID: 11</b>		<b>Photo ID: 12</b>	

### Relevant Fire Danger Index

The fire danger index for this site has been determined in accordance with Table 2.1 or otherwise determined in accordance with a jurisdictional variation applicable to the site.

#### Fire Danger Index

FDI 40 

Table 2.7

FDI 50 

Table 2.6

FDI 80 

Table 2.5

FDI 100 

Table 2.4

### Indicative Bushfire Impacts

The potential bushfire impact to the site / proposed development from each of the identified vegetation plots are identified below.

Plot	Vegetation Classification	Effective Slope	Separation (m)	BAL
1	Class A - Forest	Flat/Upslope	85.1m	BAL – 12.5
2	Class D Scrub	Flat/Upslope	45.9m	BAL – 12.5
3	Class G Grassland	Flat/Upslope	59m	BAL – LOW
4	Class A - Forest	Flat/Upslope	71.2m	BAL – 12.5
5	Excludable – Clause 2.2.3.2(e/f)	N/A	N/A	BAL – LOW

**Table 1: BAL Analysis**

### Indicative Bushfire Attack Level (BAL)

The Determined Bushfire Attack Level (highest BAL) for the site / proposed development has been determined in accordance with clause 2.2.6 of AS 3959 – 2018 using the above analysis.

**Indicative Bushfire Attack Level**

**BAL – 12.5**

**Appendix 1: Plans and Drawings**

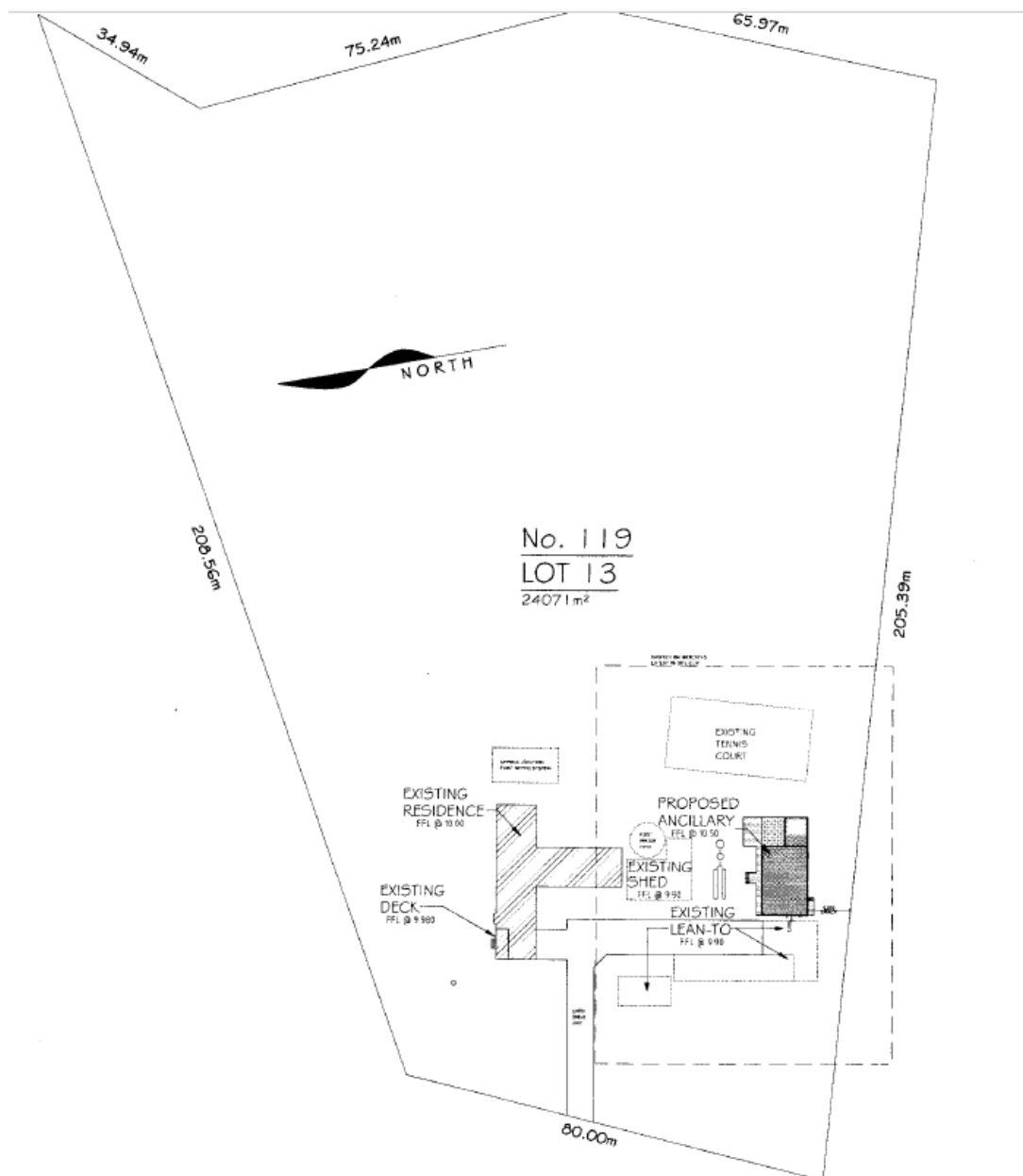
Plans and drawings relied on to determine the bushfire attack level

Plans Drawn by: North Coast Design

Dwg Number: 2:4

Revision no.: A

Date of Plan: 15.03.2023



**Appendix 2: Shielding Provisions**

AS 3959 – 2018 Part 3.5 allows for a reduction in construction requirements due to shielding, where an elevation not exposed to the source of a bushfire attack may be reduced to the next lower BAL (But not to BAL LOW).

A reduced level due to shielding may be applied to this project as shown in the diagram below. This lower BAL level may be applied to the elements of the walls (including openings) but shall not be applied to subfloors or roofs.

N/A