

Technical Report			
TRIM Number:	PA19/1004	Synergy Number:	PA19/1004
Lodgement Date:	3/10/2019	DAU Date:	
Address:	Lot 40, 12 Florence Place, Oakford		
Proposal:	Retrospective Retaining Wall and Fill		
Land Use:	Residential – Single House	Permissibility:	Permitted
Owner:	Kevin and Melody Kay		
Applicant:	As above		
Zoning:	Rural Living A	Density Code:	R2
Delegation Type:	12.1.1	Officer:	Ryan Fleming
Site Inspection:	Yes – 25/10/2019		
Advertising:	No		
Outstanding Internal Referrals:	No		
External Referrals:	No		
Within a Bushfire Prone Area:	Yes		
Part 10A, Cl. 78B of the Planning and Development (Local Planning Schemes) Regulations 2015 exempts the requirement for a BAL assessment.			

Introduction:

A planning application has been received on 3 October 2019 for retrospective retaining wall at Lot 40, 12 Florence Place, Oakford.

The subject lot is zoned 'Rural Living A' in accordance with the Shire's Town Planning Scheme No. 2 (TPS2). A retaining wall is considered to fall within the existing 'Residential – Single House' which is a permitted use within the 'Rural Living A' zone in accordance with the Shire's TPS2.

The proposal is reported to DAU for determination as Officers have delegation to determine a 'Residential – Single House' land use under delegation 12.1.1.

This report recommends that the retrospective retaining wall as proposed be approved subject to appropriate conditions.

Background:

Existing Development:

The subject site of 9999.97m² is currently developed with a single dwelling, water tank and an outbuilding. Unapproved site works have been conducted including importation of fill and the installation of a retaining wall. An easement to the benefit of the State Energy Commission of Western Australia runs along the western boundary of the site for the purpose of power lines. Officers note that the area is generally low-lying and subject to surface water gathering during winter months.

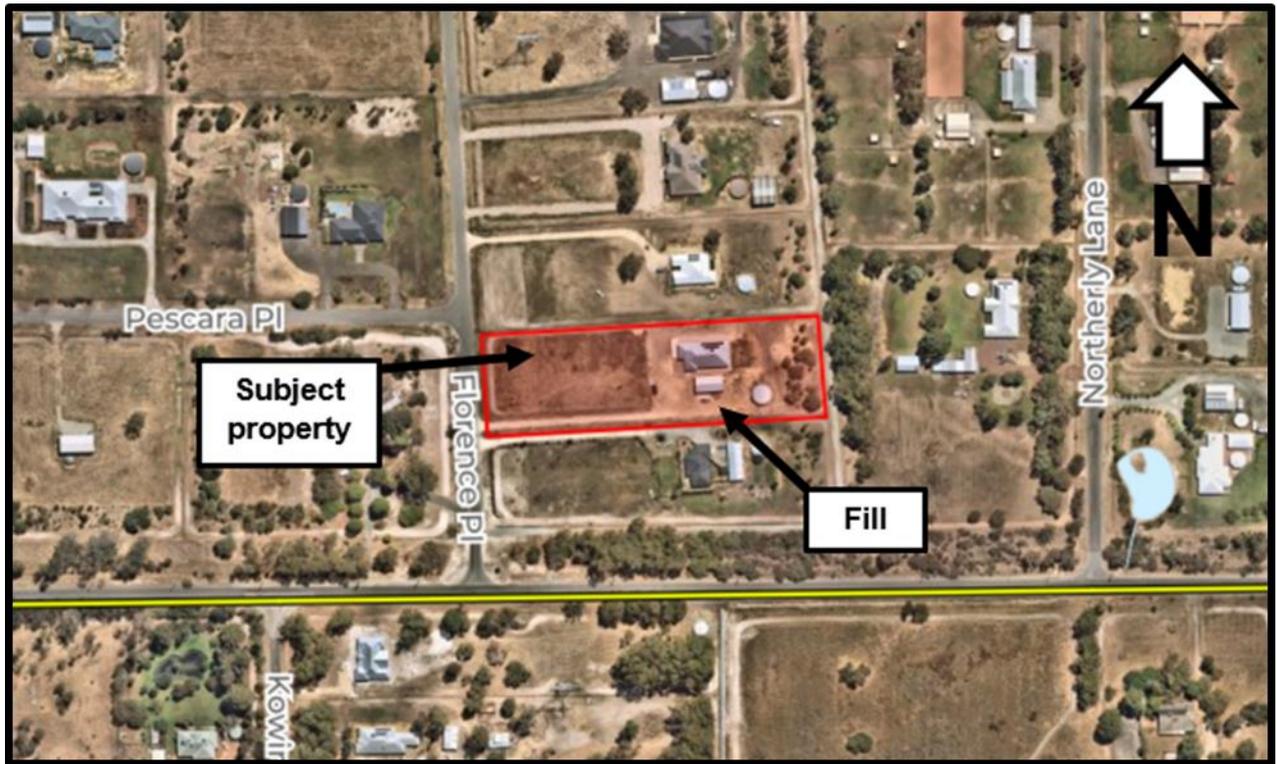


Figure 1: Aerial Image

Retrospective Development:

The application seeks retrospective approval for a retaining wall and fill. The retaining wall is 3 courses high, having a total height above ground level of 1.1m to the side (north) and primary street (west) boundaries. Additionally, the retaining wall is 2 courses high or 0.72m above ground level to the side (south) boundary. The applicant advised that the purpose of the retaining wall is to prevent the sand pad from being undermined during rainfall events in the wet months of the year. The proposal seeks approval for the placement of fill around the dwelling to raise the natural ground level in order to provide for a more functional outdoor space which is otherwise subject to inundation. The clean fill was spread out across the site as depicted in Figure 2 below. The fill has a height of 20mm (2cm), covering an area of approximately 2,600m², which is 26% of the site. Development approval is required for these works as they are partially located outside the building envelope and the development falls within the 'High Impact' criteria in Local Planning Policy 4.7 – Placement of Fill in Non-Urban Areas.



Figure 2: Extent of retrospective fill

Community / Stakeholder Consultation:

Advertising was not carried out for this application as it was not deemed required. Under Schedule 2, Part 8, Clause 64(1)(b)(ii) of the Planning and Development Regulations 2015 advertising is not required where the local government is satisfied that a proposal is consistent with the use of the land, objectives of the zone and will not significantly impact adjoining properties due to its location. The proposed retaining wall and fill are incidental to the 'Residential – Single House' land use, which is permitted within the 'Rural' zone. Therefore, the development is consistent with development expected in the area. Additionally, Officers are conditioning the drawing back of the fill from property boundaries, which should alleviate any impacts on neighbouring properties. Therefore, it is considered that the proposal would not adversely impact the character of the area and that the development does not require advertising.

Clause 4.1.1 of the R-Codes states the following:

“Where a development proposal is deemed-to-comply in accordance with the R-Codes Volume 1, it will not require advertising to adjoining owners and occupiers.”

As seen in the below R-Code assessment, the development is consistent with the deemed-to-comply requirements of the R-Codes. Therefore, there is no requirement to advertise as per the R-Codes.

Statutory Environment:

- *Planning and Development Act 2005*
- *Planning and Development (Local Planning Schemes) Regulations 2015*
- *Shire of Serpentine Jarrahdale Town Planning Scheme No. 2*
- *Rural Strategy Review 2013*

- State Planning Policy 7.3 – Residential Design Codes Volume 1 (R-Codes)
- Local Planning Policy 4.7 – Placement of Fill in Non-Urban Areas

Planning Assessment:

A comprehensive assessment has been undertaken in accordance with section 67 of the Planning and Development Regulations 2015, the assessment can be viewed as part of the attachment.

Land Use:

The subject lot is zoned 'Rural Living A' in accordance with the Shire's Town Planning Scheme No. 2 (TPS2). A retaining wall is considered to fall within the existing 'Residential – Single House' land use which is a permitted land use within the 'Rural Living A' zone in accordance with the Shire's TPS2. Therefore, Officers can consider the application for approval.

Orderly and Proper Planning:

Clause 67 of the regulations, specifically A – J, considers state and local planning policy frameworks including draft schemes, strategies, state planning policies, local planning policies and the like. These frameworks provide guidance in order to establish if a development is consistent with orderly and proper planning.

TPS2:

Clause 5.12.2 of TPS2 states that, "*The Rural Living A Zone is intended to cater for rural residential development on a range of lots between 4,000 square metres to one hectare in accordance with the objectives and guidelines of the Rural Strategy.*" Officers consider that the application for fill and a retaining wall is generally consistent with rural residential character and aims to facilitate the residential use of the land. Therefore, Officers consider the development is generally consistent with this and the objectives of the Rural Strategy are discussed further in the next section.

Clause 5.4.2.a) of TPS2 states that; "*Where no Residential Density Code area is depicted on the Scheme Map, residential development shall be in accordance with the R2 Density code for Special Rural, Rural Living A, Rural Living B, Farmlet and Rural*". Therefore, the application has been assessed against the R2 requirements of the R-Codes.

Rural Strategy 2013 Review:

The Shire's Rural Strategy 2013 Review (Strategy) outlines key themes that future development within rural areas should be considered against. Generally, the Strategy requires rural areas to maintain a rural character, retain natural assets and facilitate productive rural areas by ensuring the areas are economically productive.

The proposal has been assessed against the Rural Strategy which provides the relevant objectives as follows:

- *"Provide for additional choice in style and location of residential land not available within the Shire's urban nodes; and*
- *Provide opportunities for development that maintains rural character and promotes appropriate land management."*

The proposal is to facilitate the existing residential development, a use consistent with the objectives of the Strategy. It is noted that fill will result in the land being able to be managed and utilised more effectively by the landowners. In this, no natural assets have been removed and rural character is adversely affected.

It is important to acknowledge that the subject area is low-lying and it is common for fill to be brought to properties to facilitate development and decrease the area which is unusable due to inundation. Officers consider the filling of the site is consistent with the purpose of the 'Rural Living A' zone by making the land more functional for use as outdoor space and is therefore capable of being considered for approval.

Local Planning Scheme No.3 (LPS3):

LPS3 is currently being advertised. As such, it is a seriously entertained document and has to be considered during the planning assessment. It is noted that the subject property is proposed to be rezoned from 'Rural Living A' to 'Rural Residential' in LPS3. The retrospective retaining wall would fall within the 'Single House' land use in LPS3, which is a permitted land use within the 'Rural Residential' zone. Therefore, Officers consider that the retrospective retaining wall would not adversely prejudice the implementation of LPS3.

Building Envelope:

The retaining wall and fill are located outside of the building envelope as depicted on the subdivision guide plan (seen in figure 2 below). Clause 5.12.9.(d) of TPS2 states, "*no building shall be constructed on a lot other than within the approved building envelope without the written approval of the Council.*" Therefore, Officers are able to consider the current location of the retaining wall and fill outside the building envelope, through the development application process.

Part 9 Clause 79 (2) of the *Planning and Development (Local Planning Schemes) Regulations 2015* identifies that a Subdivision Guide Plan is to be considered as a structure plan. Schedule 2 Part 4 clause 27 (1) of the *Planning and Development (Local Planning Schemes) Regulations 2015* states that "*A decision-maker for an application for development approval or subdivision approval in an area that is covered by a structure plan that has been approved by the Commission is to have due regard to, but is not bound by, the structure plan when deciding the application*". Therefore, the building envelope should be treated as a "structure plan" and the decision maker may give due regard as opposed to being bound by it. This means that Officers have discretion to approve the development outside the building envelope, subject to being satisfied with the development. Refer to the form of amenity and development section on this report.

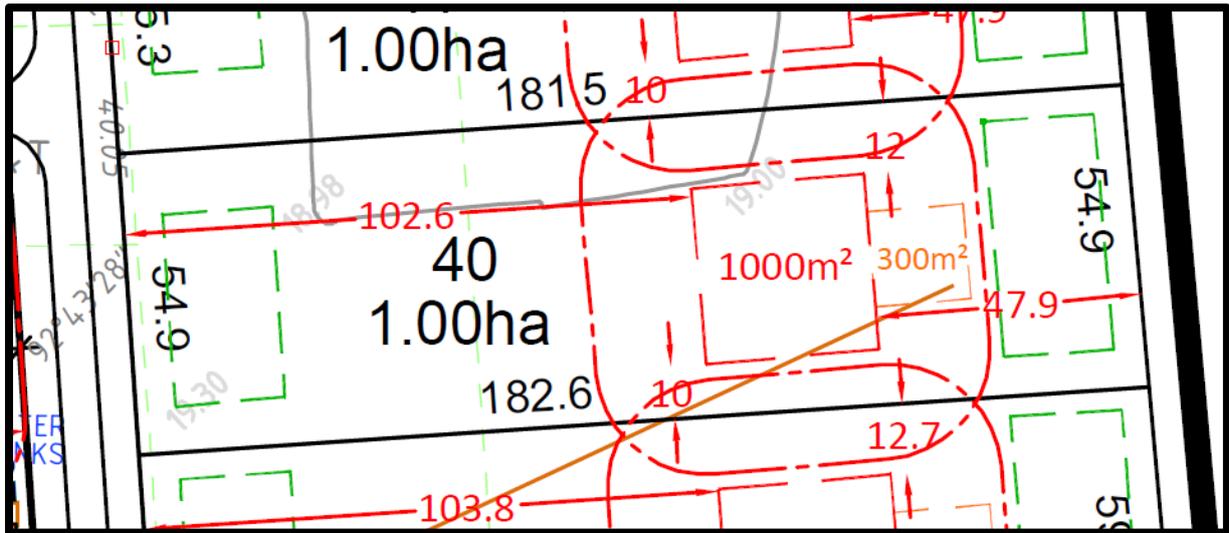


Figure 2: Building envelope plan.

Drainage Concerns:

Officers consider that the area is particularly susceptible to surface flooding during the winter months, due to the low-lying nature of the area and high water table. Officers consider that by conditioning that the fill should be drawn back 4m off the property boundaries, back to ground level prior to the development, that water flows should be able to remain within the boundary. Officers note that there is a natural east to west flow of the land. The proposed 4m setback should allow for an adequate channel.

The applicant advised that the ground was churned and approximately 20mm of fill placed on top. Officers consider that this is generally a small amount of fill and by drawing it back 4m from the boundaries that any adverse impact on neighbouring properties can be managed.

Engineering Officer Technical Advice:

Proposed fill is over an area of the site where the land slopes east to west. The 1% storm flood depth is around 50mm. If fill is kept some distance off the property boundary then any displaced flood water by the fill can continue to flow westwards within the property without adversely impacting neighbours. Given how shallow the flooding is it is reasonable to request a minimum 1m offset for fill from property boundary. Given the landholding size and possible requirement for firebreak it may be advantageous to offset the fill 4m from the boundary to facilitate firebreak at predevelopment ground levels along the perimeter.

Fill Content:

The applicant has provided a receipt from the supplier of the fill. The receipt demonstrates the clean nature of the fill as it is 'brickies sand', which is clean sand. Officers are therefore satisfied that there is no concern of contaminated fill being brought on site.

Form of Development and Amenity:

Clause 67 of the Deemed Provisions, specifically K, L, M, N, P, all relate to the form and amenity of the development that is required to be assessed.

5.1.2 STREET SETBACK						
5.1.3 LOT BOUNDARY SETBACK						
Lot Setbacks	Length	Height	MO	D-t-C	Proposed	OK
Retaining Wall						
Primary street (west)	18.2m	1.1m	N	20m	99.8m	Y
Side (north)	28.8m	1.1m	N	10m	10m	Y
Side (south)	28.8m	1.1m	N	10m	25.8m	Y
Rear (east)	18.2m	1.1m	N	10m	50m	Y
Fill						
Primary street (west)	52m	0.02m	N	0m	87m	Y
Side (north)	54m	0.02m	N	0m	0m	Y
Side (south)	54m	0.02m	N	0m	4m	Y
Rear (east)	52m	0.02m	N	0m	27m	Y

5.1.6 BUILDING HEIGHT				
	D-t-C	Proposed	OK	Comment
Top of Retaining Wall	6.0m	1.1m	Y	
Note: Above provisions are Category B "default provisions". Refer to Clause 5.1.6 for A and C provisions and interpretations.				

5.3.7, 5.3.8, 5.3.9 SITEWORKS, RETAINING WALLS AND STORMWATER MANAGEMENT			
Excavation or Fill	<ul style="list-style-type: none"> Maximum of 0.5m of fill within front setback, except to provide access for pedestrians & vehicles, & provide natural light. Fill within wall perimeter limited by building height. Excavation behind setback no limit. Fill / retaining at boundary subject to council policy, 1.0m as of right, up to 1.5 neighbour approval, above 1.5 Council. 	Y	Placement of fill is not above 20mm and is therefore able to be located up to the lot boundary in accordance with the deemed-to-comply requirements of the R-Codes.
Setback of Retaining	<ul style="list-style-type: none"> Retaining setback in accordance with Table 1, 2 & Fig. 2 provisions subject to above. 	Y	Refer to above setback assessment, the retaining wall complies with the R2 density deemed-to-comply setback requirements.
Storm Water	<ul style="list-style-type: none"> All Storm Water to be Retained on-site 	Y	Method: Condition requiring the fill to be drawn back 4m from the property boundary to allow for water flows to remain within the property boundaries.

5.4.2 SOLAR ACCESS FOR ADJOINING SITES				
	D-t-C	Proposed	OK	Comment
Overshadowing	25%	0%	Y	The retaining wall is not located in close enough proximity to result in overshadowing to the southern boundary.
Note: R25 and lower 25%, R30 – R40 35%, R-IC or above R40 50% of adjoining site area.				

Local Planning Policy 4.7: Placement of Fill in Non-Urban Areas (LPP4.7):

LPP4.7 sets out requirements for the placing of fill in non-urban areas. The objectives of the policy are to ensure that the filling of land does not adversely impact on the amenity or the environment and to ensure visual impact is minimised on neighbouring properties. The policy includes an Impact Significant Matrix which is a guide in determining the impacts associated with the fill. This has been assessed as follows:

Fill Characteristics	Impact
Nature of fill	Low Impact – The fill placed on site is clean sand. A note of receipt has been provided by the applicant confirming this.
Fill size	Low Impact – The fill has a maximum height of 20mm as shown in the site plan of the applicant.
Fill location	Low Impact – Fill has been applied to a floor area of approximately 2,600m ² . This makes up approximately 26% of the site. Fill is located up to the side lot boundaries to the north. Considering that it is only 20mm in height, Officers consider this to be low impact.
Duration of filling works	N/A – Retrospective application.
Traffic movements	Low Impact – The fill is retrospective and so has already been applied to the property. No extra movements are subject to this application.
Vegetation clearing	Low Impact – Officers note that there has been a couple of trees removed at the rear of the property but not impacted or a result of the subject fill.
Water resources	High Impact – The property is not located near a water course, though it is subject to seasonal flooding. Officers note that according to the DWER water table map that the property has a height of 20m AHD while the water table is 2m lower at 18m AHD. Officers therefore consider the water table to be high and that the proposal falls within the high impact criteria of this section.
Amenity impacts	Low Impact – Officers consider that due to the 20mm height there will be no visual amenity impact.
Sensory impacts	Low Impact – Fill application is retrospective and so there is no potential risk of noise, dust and vibrations due

	to works.
Environmental impacts	Low Impact – Application is retrospective and so there is no further impact considered from an environmental point of view due to works.
Risks to health and safety	Low Impact – Fill application is retrospective and so there no potential risk of dust due to works.
Cumulative impacts	Low Impact – There is no fill to this scale occurring on nearby properties. Officers consider though that due to the 20mm height of the fill that it is small scale, not leading to any greater impact on the area as a whole.
Residential/Rural Residential fill	High Impact – Fill is approximately 20mm in height and for the purpose of driveway access, the house sand pad and making the area immediately around the dwelling more suitable for general domestic uses. This is a variation to the 10mm requirement and allowance for fill to be placed solely for the building pad and vehicle access, which means that the application falls within the high impact criteria of this section of LPP4.7.

The development is considered to fall within the ‘high impact’ characteristics in relation to ‘Residential/Rural Residential Fill’ category due to the fill being for other purposes than that of a sand pad or driveway access. In this instance the fill is used for these purposes, but also to make the land around the dwelling more usable for residential purposes.

The development also falls within the ‘high impact’ characteristics in the ‘Water Resources’ category, due to the location of the fill being within an area where there is a high water table. This is a trigger for rigorous assessment and detailed information to be provided to the satisfaction of the Shire, before a proposal can be considered for approval. All the other elements of the proposal are considered ‘low impact’.

Officers have assessed the development against the objectives of the policy to determine whether it is capable of approval.

The applicable objectives of LPP4.7 in relation to ‘amenity’ and ‘drainage’ are to; “ensure visual impact is minimised on neighbouring properties” and to “ensure that the filling of land does not adversely impact on the amenity, environment or cultural features of the locality in which it is being undertaken”.

Amenity:

As previously stated, the subject area is low lying and it is expected that fill will be utilised to facilitate development and make outdoor space that is subject to inundation more useable. Although the proposal involves filling a significant portion of the lot, it is considered that the overall height would not adversely impact on the visual amenity of neighbouring properties. The applicant has advised that the height of the fill that was placed around the property is 20mm (2cm). Officers consider the amount of fill would not have an adverse visual impact on the area and that the development is compliant with LPP4.7 in this regard. The photographs below show the site with the fill already having been placed.



Figure 3: Image facing south-east, showing the front retaining wall and the fill that has been placed forward of the dwelling.



Figure 4: Image facing the east, showing the retaining wall on the right and the extra fill that has been placed up to the boundary.



Figure 5: Looking towards the north at the rear of the sand pad.



Figure 6: Comments from environment suggest that trees have been removed from the revegetation area at the rear of the property separate to this application.

Drainage:

Officers note that fill can result in additional surface water being displaced onto adjoining properties during the winter months. The subject land generally slopes downwards in an east to west direction, with water flows on the property generally moving in this direction. It is noted however that there is also a depression toward the centre of the property where pooling occurs. Water flows are seen in the below figure.



Figure 7: Pre-development surface water flows.

Officers consider that to effectively mitigate any impacts from displacement of water onto neighbouring properties, the fill should be set back a minimum of 4m from the property boundaries. This would allow for water flows to remain within the property boundary. A condition is recommended by Officers to ensure this occurs.

Maintaining a setback of the fill from the boundary as proposed by Officers will ensure that water is channelised around the fill and that pre-development flow paths are maintained with a negligible impact on neighbouring properties.

Draft Local Planning Policy 4.7 – Placement of Fill:

Council, at its Ordinary Council Meeting on 18 November 2019 endorsed draft Local Planning Policy 4.7 – Placement of Fill for advertising purposes which was undertaken between 21 January 2020 – 14 February 2020, which proposed revision to the current policy. As such, is considered as a seriously entertained policy that is required to be given regard in accordance with the Deemed Provisions. This draft policy will replace the current LPP4.7 once approved by Council, which is scheduled for the June Council meeting. Officers consider that the proposal generally falls within the ‘acceptable development’ when assessed against the policy criteria. However, the proposal falls within the ‘performance based’ criteria when considering the ‘Drainage’ and ‘Environmental’ standards as shown below:

Fill Criteria	Classification & Comment
<p>Nature of Fill</p>	
<ul style="list-style-type: none"> Consolidated clean, coarse, clay free sand 	<p>Acceptable Development – The fill placed on site is clean sand. A note of receipt has been provided by the</p>

<ul style="list-style-type: none"> • No presence of timber or other biodegradable material; • Certification of fill as clean or evidence of the commercial source 	applicant confirming this.
Drainage	
<ul style="list-style-type: none"> • Fill has a minor impact on existing drainage patterns in the locality but is managed in a comprehensive manner 	Performance Based – Fill has been applied to an area of approximately 2,600m ² . This makes up approximately 26% of the site. Fill is located up to the side lot boundaries to the north, though is only 20mm in height across the area it has been placed. Therefore, through the condition requiring fill to be set back 4m from property boundaries, Officers consider that any adverse drainage impacts/water displacement can be managed effectively.
Traffic	
<ul style="list-style-type: none"> • Low/No impact on surrounding road network 	Acceptable Development – Works have already been done, generating no additional movements.
Environmental	
<ul style="list-style-type: none"> • Fill is set back adequately from environmental features such as watercourses and wetlands 	Acceptable Development – The fill or the property itself is not in close proximity to any significant environmental features.
<ul style="list-style-type: none"> • Some vegetation cleared. • Protection of mature trees or provision of tree replacement 	Performance Based – Fill has generally been placed so that it is away from vegetation and it has not resulted in the removal of vegetation. However, a portion of the fill has been spread among the driplines of the trees at the rear of the property. Officers consider however that due to the fill only being 20mm in height that it would not adversely impact this vegetation and has not resulted in the removal of any of it.
Amenity	
<ul style="list-style-type: none"> • No significant impact on the natural levels or landscape character of the area taking into account cumulative impacts 	Acceptable Development – The fill covers approximately 26% of the site, however it only has a height of 20mm. Therefore, Officers consider that due to its minor nature that there will be no significant impact on natural levels or landscape characteristics of the area.
<ul style="list-style-type: none"> • Dust is controlled, therefore risks to health and safety are minimal 	Acceptable Development – The fill is already in place so there are no additional dust concerns.
Purpose of the Fill	
<ul style="list-style-type: none"> • Fill required for the purposes of a permitted or approved land use 	Acceptable Development – The fill is for the purpose of supporting the retaining wall/sand pad and to facilitate standard domestic activities on site. Therefore, Officers consider it incidental to the existing 'Residential – Single House' land use, which is permitted in the 'Rural Living A' zone.

The proposal is generally compliant with the policy, falling within the ‘acceptable development’ when assessed against the criteria. However, the proposal falls within the ‘performance based’ criteria when considering the ‘Drainage’ and ‘Environmental’ standards.

The draft policy requires that development falling within ‘performance based’ criteria will need to be accompanied by relevant management plans or technical reports. Regardless, Officers consider this would not be required because the proposal meets the objectives of the draft policy. The relevant objectives are as follows:

- *“Ensure that the filling of land does not adversely impact on the amenity or environment of the locality in which it is being undertaken*
- *Ensure that drainage is appropriately managed*
- *Minimise environmental impacts on water resources and vegetation”*

Officers consider that despite a small amount of the fill being in close proximity to the vegetation at the rear of the property, it has not resulted in any of its removal. Furthermore, any adverse impacts of the fill relating to drainage can be effectively managed through setting the fill back 4m from property boundaries as discussed in previous sections of this report. This will reduce any adverse amenity impact to neighbouring properties. Therefore, Officers consider that the development is consistent with the objectives of the draft policy.

Options and Implications:

Option 1: DAU may resolve to approve the application subject to conditions.

Option 2: DAU may resolve to refuse the application subject to reasons.

Option 1 is recommended.

Conclusion:

Officers consider that the retrospective retaining wall and fill are consistent with the design principles of the R-Codes and LPP4.7. Officers consider that due to the adequate setback of the retaining wall and minor nature of the filling that has occurred, that there would not be an adverse impact on the amenity or drainage of the area by the proposal. The development is considered consistent with the wider state and local planning framework. Therefore, the retrospective retaining wall and fill are recommended for approval.

Attachments:

Deemed Provisions – Cl 67 Matters to be considered by local Government

Land Use:

a) The aims and provisions of this Scheme and any other local planning scheme operating within the area	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	N/A <input type="checkbox"/>
Comment: Refer to TPS2 section.			

b) The requirements of orderly and proper planning including any proposed local planning scheme or amendment to this Scheme that has been advertised under the <i>Planning and Development (Local Planning Schemes) Regulations 2015</i> or any other proposed planning instrument that the local government is seriously considering adopting or approving	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	N/A <input type="checkbox"/>
Comment: Refer to LPS3 section.			
c) any approved State planning policy	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	N/A <input type="checkbox"/>
Comment: Refer to R-Code assessment.			
d) any environmental protection policy approved under the <i>Environmental Protection Act 1986</i> section 31(d) – None Applicable to this area from what I can determine	YES <input type="checkbox"/>	NO <input type="checkbox"/>	N/A <input checked="" type="checkbox"/>
Comment:			
e) any policy of the Commission	YES <input type="checkbox"/>	NO <input type="checkbox"/>	N/A <input checked="" type="checkbox"/>
Comment:			
f) any policy of the State	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	N/A <input type="checkbox"/>
Comment: Refer to R-Code assessment.			
g) any local planning policy for the Scheme area	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	N/A <input type="checkbox"/>
Comment: Refer to LPP4.7 assessment.			
h) any structure plan, activity centre plan or local development plan that relates to the development	YES <input type="checkbox"/>	NO <input type="checkbox"/>	N/A <input checked="" type="checkbox"/>
Comment:			
i) any report of the review of the local planning scheme that has been published under the <i>Planning and Development (Local Planning Schemes) Regulations 2015</i>	YES <input type="checkbox"/>	NO <input type="checkbox"/>	N/A <input checked="" type="checkbox"/>
Comment:			
j) in the case of land reserved under this Scheme, the objectives for the reserve and the additional and permitted uses identified	YES <input type="checkbox"/>	NO <input type="checkbox"/>	N/A <input checked="" type="checkbox"/>

in this Scheme for the reserve			
Comment:			

Development:

k) the built heritage conservation of any place that is of cultural significance	YES <input type="checkbox"/>	NO <input type="checkbox"/>	N/A <input checked="" type="checkbox"/>
Comment:			

l) the effect of the proposal on the cultural heritage significance of the area in which the development is located	YES <input type="checkbox"/>	NO <input type="checkbox"/>	N/A <input checked="" type="checkbox"/>
Comment:			

m) the compatibility of the development with its setting including the relationship of the development to development on adjoining land or on other land in the locality including, but not limited to, the likely effect of the height, bulk, scale, orientation and appearance of the development	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	N/A <input type="checkbox"/>
Comment: Development is consistent with the deemed-to-comply requirements of the R-Codes and therefore is considered to not pose any adverse visual amenity impacts to the area. Development is generally consistent with the bulk of the sand pad that was present previously.			

n) the amenity of the locality including the following – I. Environmental impacts of the development II. The character of the locality III. Social impacts of the development	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	N/A <input type="checkbox"/>
Comment: Development is consistent with the land use designation of the property under TPS2 and therefore considered appropriate development, consistent with the character of the area.			

o) the likely effect of the development on the natural environment or water resources and any means that are proposed to protect or to mitigate impacts on the natural environment or the water resource	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	N/A <input type="checkbox"/>
Comment: Refer to drainage and engineering officer comments.			

p) whether adequate provision has been made for the landscaping of the land to which the application relates and whether any trees or other vegetation on the land should be preserved	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	N/A <input type="checkbox"/>
Comment: Two trees removed to be dealt with as a separate compliance matter as they are not removed due to the subject development.			

q) the suitability of the land for the development taking into account the possible risk of flooding, tidal inundation, subsidence, landslip, bushfire, soil erosion, land degradation or any other risk	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	N/A <input type="checkbox"/>
Comment: Refer to drainage and engineering officer comments. 4m setback of fill to be conditioned will also ensure that the firebreak is not adversely impacted.			

r) the suitability of the land for the development taking into account the possible risk to human health or safety	YES <input type="checkbox"/>	NO <input type="checkbox"/>	N/A <input checked="" type="checkbox"/>
Comment:			

s) the adequacy of – I. The proposed means of access to and egress from the site; and II. Arrangements for the loading, unloading, manoeuvring and parking of vehicles	YES <input type="checkbox"/>	NO <input type="checkbox"/>	N/A <input checked="" type="checkbox"/>
Comment:			

t) the amount of traffic likely to be generated by the development, particularly in relation to the capacity off the road system in the locality and the probable effect on traffic flow and safety	YES <input type="checkbox"/>	NO <input type="checkbox"/>	N/A <input checked="" type="checkbox"/>
Comment:			

u) the availability and adequacy for the development of the following – I. Public transport services II. Public utility services III. Storage, management and collection of waste IV. Access for pedestrians and cyclists (including end of trip storage, toilet and shower facilities) V. Access by older people and people with disability	YES <input type="checkbox"/>	NO <input type="checkbox"/>	N/A <input checked="" type="checkbox"/>
Comment:			

v) the potential loss of any community service or benefit resulting from the development other than potential loss that may result from economic competition between new and existing businesses	YES <input type="checkbox"/>	NO <input type="checkbox"/>	N/A <input checked="" type="checkbox"/>
Comment:			

w) the history of the site where the development is to be located	YES <input type="checkbox"/>	NO <input type="checkbox"/>	N/A <input checked="" type="checkbox"/>
Comment:			

x) the impact of the development on the community as a whole notwithstanding the impact of the development on particular individuals	YES <input type="checkbox"/>	NO <input type="checkbox"/>	N/A <input checked="" type="checkbox"/>
Comment:			

y) any submissions received on the application	YES <input type="checkbox"/>	NO <input type="checkbox"/>	N/A <input checked="" type="checkbox"/>
Comment: Refer to community consultation section.			

Za) the comments or submissions received from any authority consulted under clause 66	YES <input type="checkbox"/>	NO <input type="checkbox"/>	N/A <input checked="" type="checkbox"/>
Comment:			

Zb) any other planning consideration the local government considers appropriate	YES <input type="checkbox"/>	NO <input type="checkbox"/>	N/A <input checked="" type="checkbox"/>
Comment:			