



**PROPOSED CHILD CARE CENTRE
LOT 102 (#13) AND LOT 103 (#15) BEENYUP ROAD
BYFORD**

STATE PLANNING POLICY 5.4 ACOUSTIC ASSESSMENT

MAY 2021

OUR REFERENCE: 27849-3-21201

DOCUMENT CONTROL PAGE

ACOUSTIC ASSESSMENT CHILD CARE CENTRE – BYFORD

Job No: 21201

Document Reference: 27849-3-21201

FOR

HARLEY DYKSTRA

DOCUMENT INFORMATION				
Author:	Tim Reynolds	Checked By:	Paul Daly	
Date of Issue :	31 May 2021			
REVISION HISTORY				
Revision	Description	Date	Author	Checked
1	Revised Plans	08/07/21	TR	PLD
2	Correction to address	19/07/21	TR	N/A
DOCUMENT DISTRIBUTION				
Copy No.	Version No.	Destination	Hard Copy	Electronic Copy
1	1	Harley Dykstra Attn : Benjamin Houweling Email : benh@harleydykstra.com.au		✓
1	2	Harley Dykstra Attn : Benjamin Houweling Email : benh@harleydykstra.com.au		✓
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A	Child Care Centre Plans
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1. INTRODUCTION

Herring Storer Acoustics was commissioned to undertake an acoustic assessment for the proposed child care centre, located at Lot 102 and 103 (Nos 13 and 15) Beenyup Road, Byford with regards to vehicles travelling along the South Western Highway. The acoustic assessment is to comply with the requirement of State Planning Policy 5.4 "Road and Rail Transport Noise" (SPP5.4).

The child care centre is located on Beenyup Road, Byford, which as shown on Figure 01 is within the assessment buffer zones for traffic noise associated with the South Western Highway. Thus, an acoustic assessment in accordance with State Planning Policy 5.4 has been undertaken. As part of this assessment, the following was carried out:

- Determine the noise that would be received at child care centre from future traffic associated with the South Western Highway.
- Assess the predicted noise levels for compliance with the appropriate criteria.
- If exceedances are predicted, comment on possible noise amelioration options for compliance with the appropriate criteria.

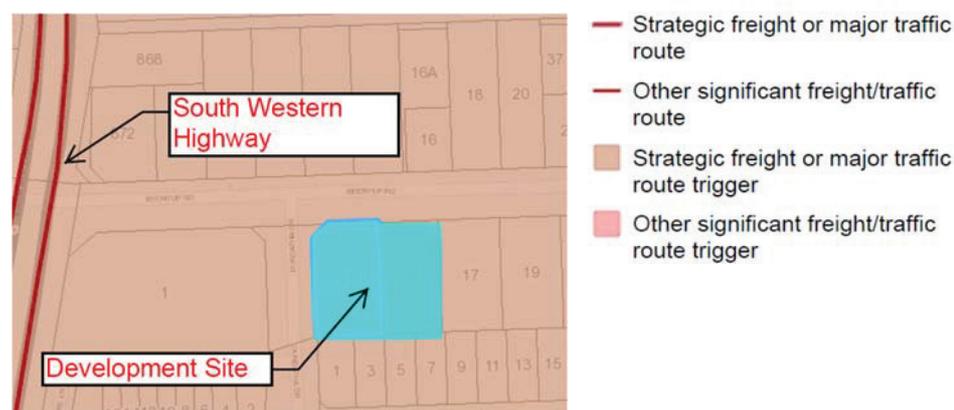


FIGURE 01 – STATE PLANNING POLICY BUFFER ZONES
(<https://espatial.dplh.wa.gov.au/PlanWA>)

For information, plans for the child care centre are attached in Appendix A.

2. SUMMARY

It is noted that the child care centre is only occupied during the day period, thus under State Planning Policy 5.4 "Road and Rail Transport Noise and Freight Considerations in Land Use Planning" only the criteria for the day period is applicable.

We note that the cot room has been designed with no windows to the southern facade, hence the noise level within the cot room would comply with the internal criteria of 35 dB(A). For other rooms (i.e. playrooms, meeting room) located on the façade, the internal acoustic criteria would be 40 dB(A), with the criteria for the corridors and reception being 45 dB(A). From the assessment undertaken, compliance with the above criteria would be achieved with standard constructions.

Based on the noise assessment undertaken, noise received at the child care centre from the South Western Highway would marginally exceed the base criteria of 55 dB(A). Therefore, an assessment has been undertaken to determine the façade construction required to achieve compliance with the required internal criteria.

3. CRITERIA

Road traffic noise received at a sensitive premise needs to comply with the requirements of State Planning Policy 5.4 “Road and Rail Transport Noise”. Under this policy, for non-residential noise sensitive premises, internal noise levels should meet the design sound levels as listed in Table 1 of AS/NZ 2107:2000 “Acoustics – Recommended design sound levels and reverberation times for building interiors”. Under AS 2017, the internal criteria would :

- Sleep Rooms - $L_{Aeq(Day)}$ of 35 dB(A).
- Play/Group Rooms - $L_{Aeq(Day)}$ of 40 dB(A).
- Meeting Room - $L_{Aeq(Day)}$ of 40 dB(A).
- Reception - $L_{Aeq(Day)}$ of 45 dB(A).
- Corridor - $L_{Aeq(Day)}$ of 45 dB(A).

Additionally, under SPP 5.4, noise received at least one outdoor area should be design as far as is reasonable and practical to comply with the Policies outdoor Target Noise level of an $L_{Aeq(Day)}$ of 55 dB(A).

4. MEASUREMENTS AND OBSERVATIONS

A noise measurement was conducted on site at 13 Beenyup Road, Byford on 26 May 2021 for a short term period during the morning peak hour. From this measurement a L_{Aeq} noise level of 56 dB(A) was recorded.

This noise level was use for the assessment of noise.

Note : The child care centre only operated during the day period.

We note that this noise level correlates with the noise level listed in Table 2 of the Implementation Guidelines. With the façade of the child care centre being just over 110 metres from the South Western Highway, from Table 2 the noise received at the child care centre would be 58 dB(A).

Note : The noise level within Table 2, includes the 2.5 dB(A) correction for the façade reflection, were as the noise level measurement being a free field measurement did not.

Table 2: Noise exposure forecast

Transport Corridor Classification	Number of lanes (both directions), including bus/priority lanes and entrance/exit ramps	Forecast noise exposure category based on lot distance(m) from edge of nearest main road carriageway (not entrance/exit ramps)																						
		adjacent	10	20	30	40	50	60	70	80	90	100	110	120	130	140	150	175	200	225	250	275	300	
Strategic freight/major traffic route • 500 or more Class 7-12 Austroads vehicles per day, or • 50,000+ vehicles per day	2 to 4 lanes	72	68	66	65	63	62	61	61	60	59	59	58	57	57	56	55	54	53	52	51	50		
	5 to 6 lanes	74	70	68	66	65	64	63	62	61	61	60	59	59	58	58	57	56	55	54	53	52		
	7 to 8 lanes	76	72	69	68	66	65	64	64	63	62	62	61	60	60	59	58	57	56	55	54	53		
	9 to 10 lanes	77	73	70	69	67	66	65	65	64	63	63	62	61	61	60	59	58	57	56	55	54		
	10 or more lanes	78	74	71	70	68	67	66	66	65	64	64	63	62	62	61	60	59	58	57	56	55	54	

5. TRAFFIC NOISE ASSESSMENT

With the addition of the +2dB(A) for future traffic, as outlined in the guideline, the noise received at the child care centre from the South Western Highway would, for the future traffic flows, be 60 dB(A).

Noise modelling was undertaken to determine the R_w rating at each window / door associated with the design of child care centre (copy of plans are attached for information). The results of the noise modelling are listed in Table 5.1.

TABLE 5.1 – CALCULATED EXTERNAL NOISE LEVEL dB(A)

Room	Calculated Noise Level dB(A) / R_w Rating	
	Noise Level (dB(A))	R_w Rating
Reception / entry	52	16
Staff Room	52	15
Kitchen	53	16
Western Corridor	59	27
North Corridor	44	12
Cot Room 1	60	28
Cot Room 2	60	27
0 – 1 years	59	22
1 – 2 years	57	21
2 – 3 years	56	16
3 – 4 years	49	14
4 – 5 years	46	13
Laundry / Nappy Room	49	14
WC 2 (North)	46	12
WC 2 (East)	44	9

Note: L_{Aeq} is the equivalent continuous noise level.

5.1 CONSTRUCTION REQUIREMENTS

WALLS

From the drawings and information provided, it is understood that the external walls will be 230mm cavity brickwork, which complies with the acoustic requirements.

GLAZING

With the exceptions of the glazing listed below, the noise received at the windows / doors is such that the internal acoustic criteria can be achieved with the installation of standard glazing. Upgraded construction are required for the windows, as outlined in Table 5.1.

TABLE 5.1 – GLAZING R_w RATING AND RECOMMENDED GLAZING

Location	Calculated R_w dB	Glazing
Cot Room 1	28	Openable (sliding or awning) - 6mm float or toughened glass with window seals. Fixed - 6mm float or toughened glass.
Cot Room 2	27	

Note: Other constructions would be acceptable, provided the constructions comply with the stated R_w rating. If alternatives are to be used, then the acoustic rating (R_w) of the window suite needs to be confirmed by the supplier.

We understand that the roof would be a colourbond roof, with an internal ceiling and insulation in the roof cavity, which, acoustically, would be deemed acceptable. We note that the insulation required to meet the thermal requirements, exceeds that of the acoustic requirements. Thus, the roof / ceiling construction would also comply with the acoustic requirements.

6. CONCLUSION

In accordance with the WAPC Planning Policy 5.4, an assessment of the noise that would be received within the development of a child care centre at Lots 102 and 103 (Nos 13 and 15) Beenyup Road, Byford from vehicles travelling on South Western Highway has been undertaken.

The results of the acoustic assessment indicate that noise received at the development from future traffic has been determined to be is the worst case location be 60 dB(A) (ie western façade), which marginally exceeds the noise level criteria. With the inclusion of the constructions, outlined in Section 5, compliance with the State Planning Policy 5.4 would be achieved.

APPENDIX A

PLANS

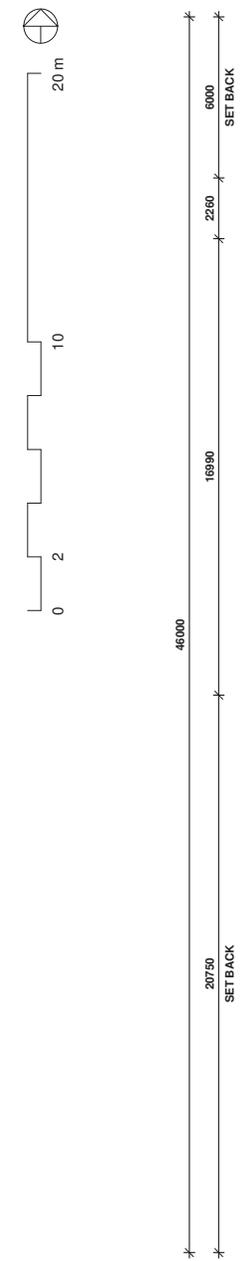
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Site Plan - Ground - Coloured

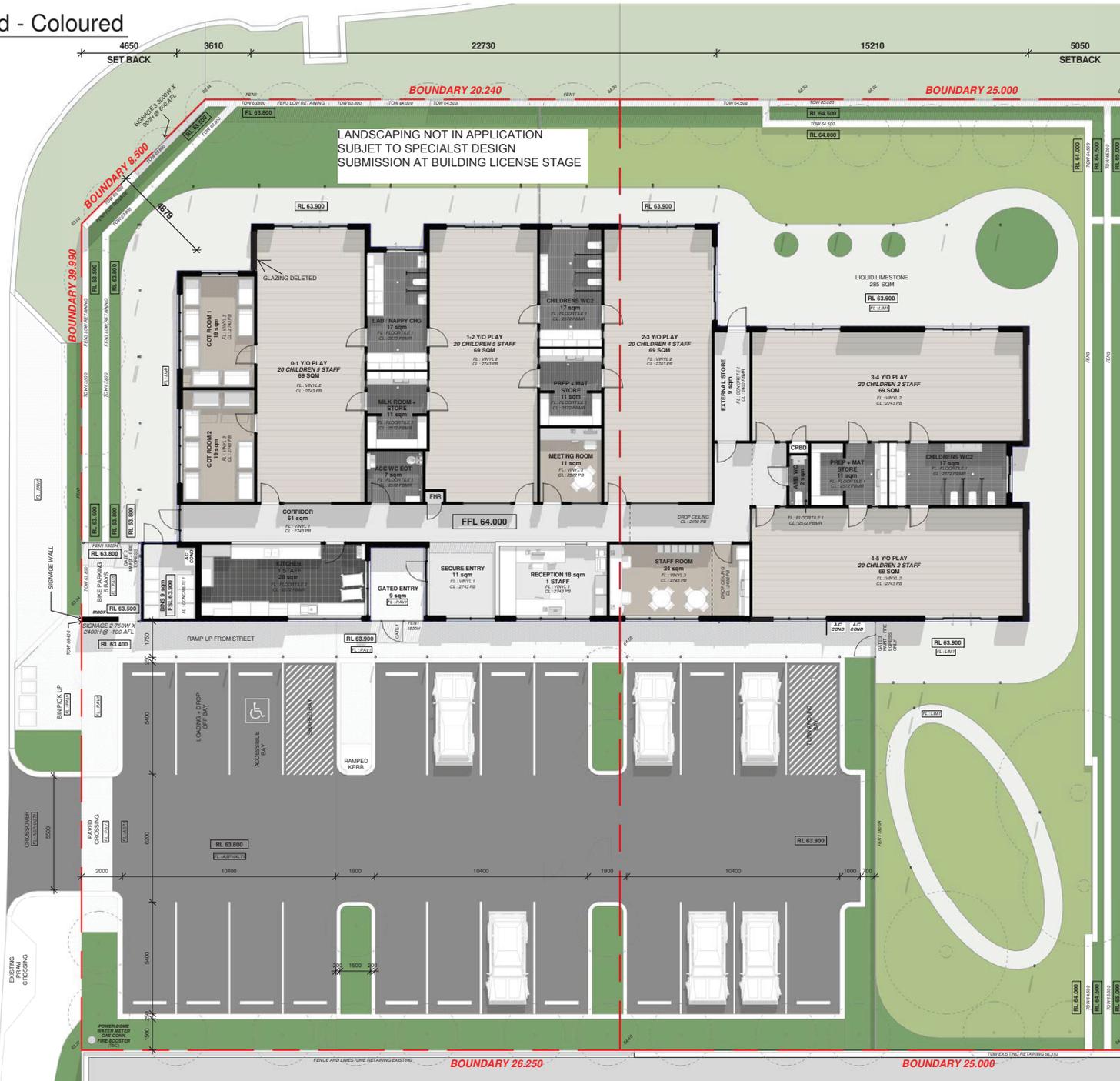
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10.1 Attachment 7

- 13.37 RL SURVEY LEVEL - EXISTING
- 13.38 PFL FINISHED FLOOR LEVEL - PROPOSED
- 13.39 TOWP TOP OF WALL - PROPOSED
- 13.40 TOWP TOP OF FENCE - PROPOSED
- 13.41 SMOKE DETECTOR 1 SMOKE ALARM - HARDWIRED
- 13.42 EXHAUST FAN 1 EXHAUST FAN - MECHANICALLY VENTILATED
- 13.43 RANGEHOOD FAN 1 RANGEHOOD EXHAUST FAN - MECHANICALLY VENTILATED
- METERBOX EXISTING RESIDENCE METER BOX - UPGRADE AS REQUIRED
- 13.44 SW 900H 1200DIA SOAKWELL 900MM HIGH X 1200MM DIAMETER W/ 300 COVER (OR GRAYPOT STYLE EQUIVALENT)



DUNDATHA DRIVE



SUMMARY

SITE AREA =	2339 SQM
LEVEL G ENCLOSED =	707 SQM GBA
STANDARD CAR BAYS =	20
ACCESS CAR BAY =	1
DROP OFF / LOADING =	1
TOTAL CAR BAYS =	22
SITE COVERAGE =	707 SQM
	31%
OPEN SPACE =	69%* INCLUDING CAR BAYS
0-2 YO	40 CHILDREN + 10 STAFF
2-3 YO	20 CHILDREN + 4 STAFF
3-5 YO	40 CHILDREN + 4 STAFF
ADMIN + KITCHEN	2 STAFF
TOTAL CHILDREN	100 PAX
TOTAL STAFF	20 PAX
TOTAL POPULATION	120 PAX
REQUIRED OUTDOOR PLAY	700 SQM (100 X 7 SQM)
PROVIDED OUTDOOR PLAY	721 SQM
RECYCLED BINS	2 X 360L (70L PER 100 SQM)
GENERAL BINS	3 X 240L (70L PER 100 SQM)
BIN WASH BAY	1

No.	Description	Date
6	Development Application	07.05.2021
7	Development Application - Comb Sites 13 + 15 Beenyp Rd. 100 Children, 20 Staff, 22 Car Bays	30.06.2021

SUITABILITY DESCRIPTION
PRELIMINARY - NOT SUITABLE FOR BUILDING PERMIT, PRICING OR CONSTRUCTION.

PURPOSE OF ISSUE
OWNER REVIEW, OPERATOR REVIEW, PLANNER REVIEW, CONSULTANT TEAM REVIEW, DEVELOPMENT APPLICATION.

CLIENT
Carmel Group

PROJECT
13 & 15 Beenyp Road, Byford WA 6122

SHEET
Site Plan - Ground - Coloured Ordinary Council Meeting - 15 November 2021

Date
30.06.2021

Project number
210322

DRAWING NUMBER
AP-103

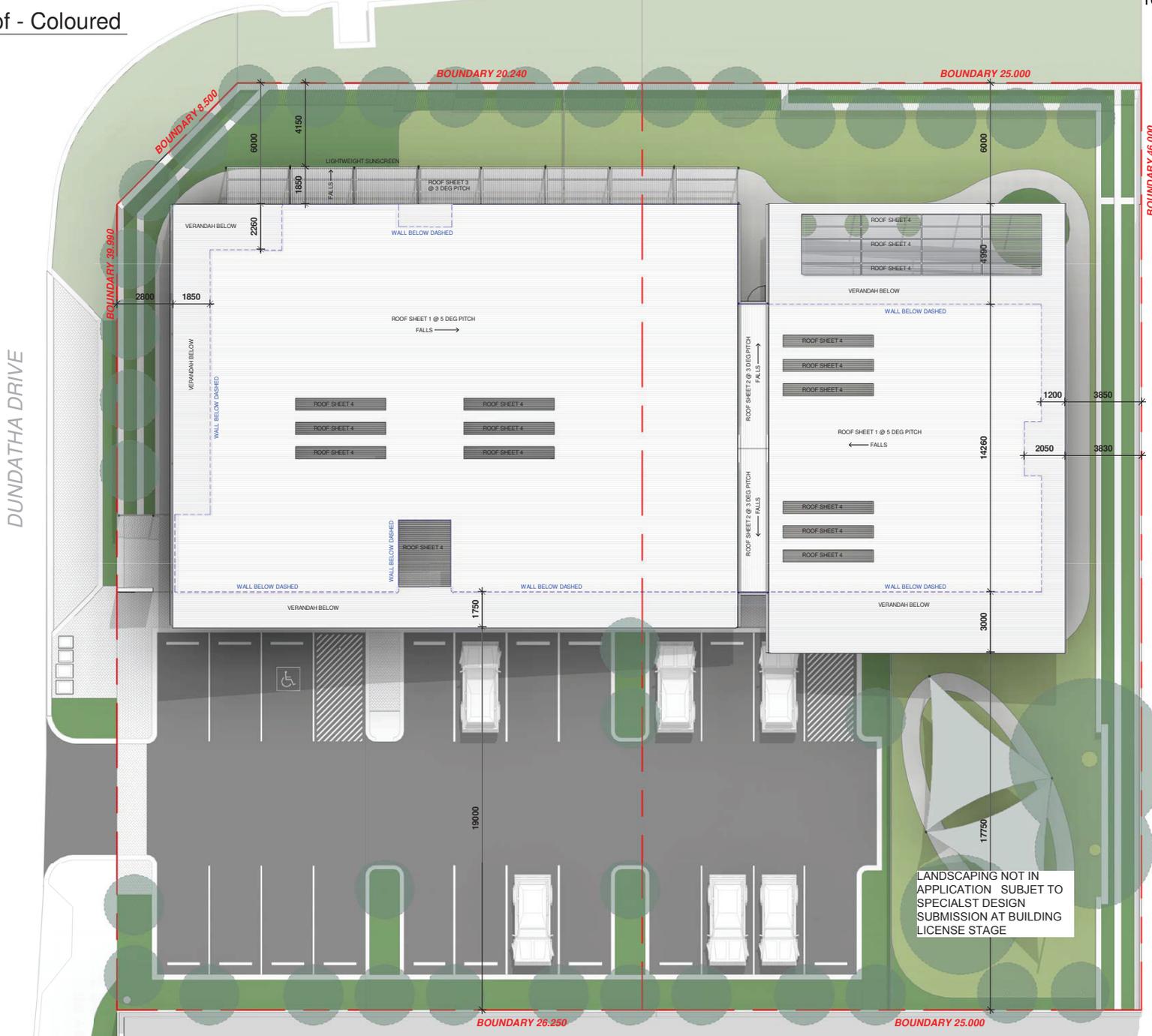
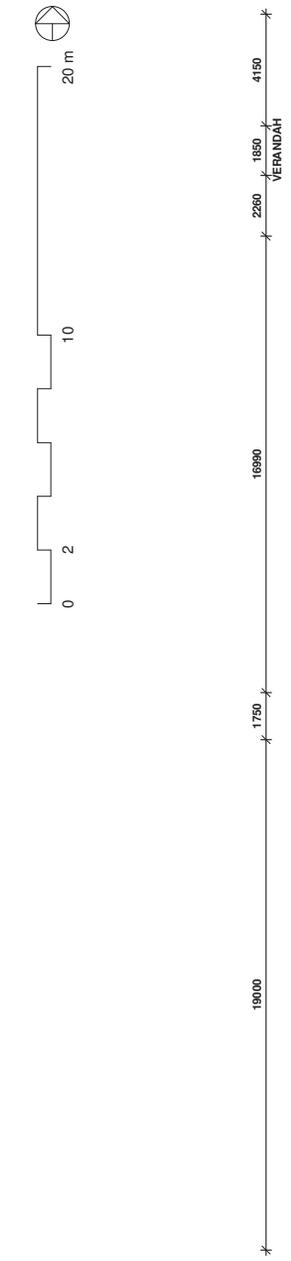
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Scale (@ A1) 1 : 100

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1 Site Plan - Roof - Coloured
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No.	Description	Date
1	Site Capacity and Brief Missing Test - 70 Children, 16 Staff, 14 Car Bays	23.03.2021
2	Option 2 Langer Upper Deck - 68 Children, 15 Staff, 13 Car Bays	24.03.2021
3	Option 3 New Client Brief, Single Storey, 50 Children + 7 Car Bays, 402 sqm GFA	06.04.2021
4	Option 4 Amended Client Brief, 50 Children + 9 Car Bays w/ Tandem Staff Bays, 422 sqm	09.04.2021
5	Option 5 Amended Client Brief, 50 Children + 9 Car Bays w/ Tandem Staff Bays, 422 sqm	10.04.2021
6	Development Application	07.05.2021
7	Development Application - Comb Sites 13 + 15 Beenyp Rd, 100 Children, 20 Staff, 22 Car Bays	30.06.2021

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CLIENT	Carmel Group
PROJECT	13 & 15 Beenyp Road, Byford WA 6122
SHEET	Site Plan - Roof - Coloured

Date	30.06.2021	Project number	210322	Scale (@ A3)	1 : 200
Drawn by	PS	DRAWING NUMBER	AP-104	Scale (@ A1)	1 : 100
Checked by		Meeting - 15 November 2021	7		

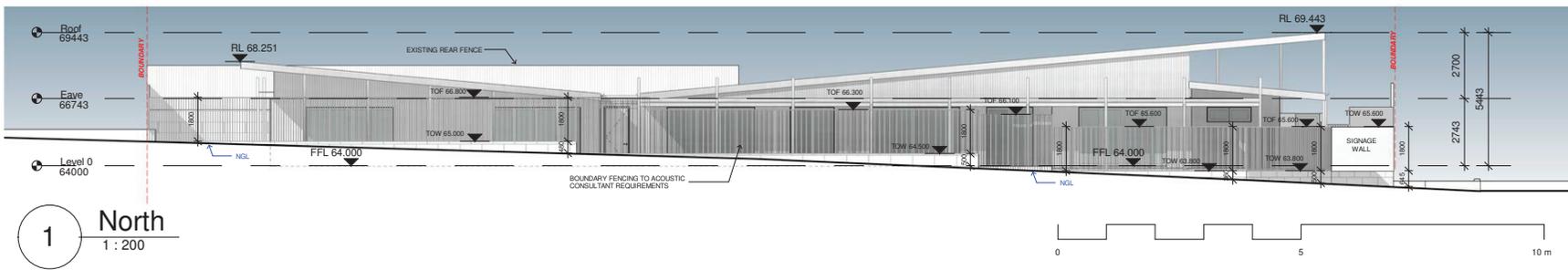


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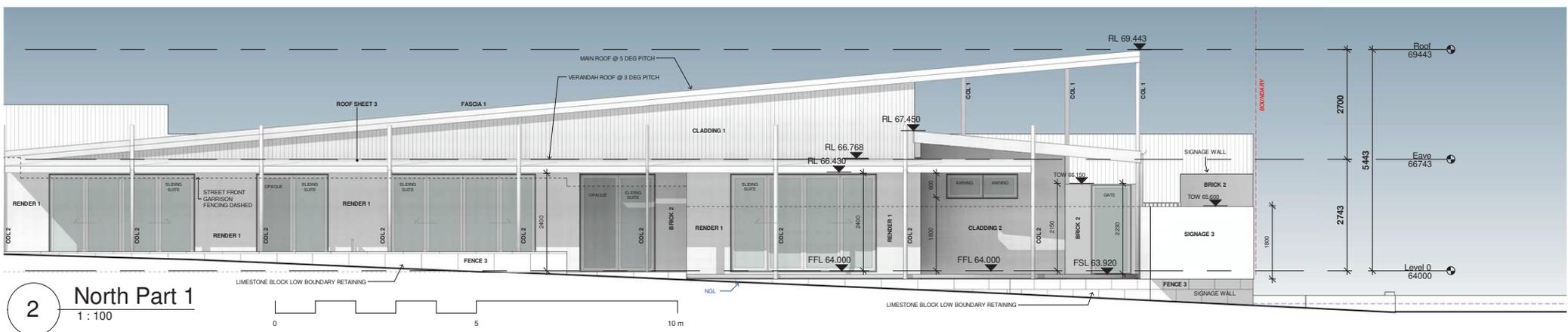
10.1.4 - Attachment 7

- FINISHES LEGEND EXTERNAL**
- ASPHALT 1 ASPHALT HEAVY DUTY "BLACK" ON ROAD BASE
 - BRICK 1 FACE BRICK "STRETCH BOND METALLIC" STACK BAND WITH DARK GROUT
 - BRICK 2 PAINTED RED COUCH BRICK WITH FLUSH JOINT "DOMINO"
 - CLADDING 1 HARDIGROOVE VERTICAL - "DULUX DESIGN COPPER EFFECT"
 - CLADDING 2 HARDIGROOVE VERTICAL - "DULUX DESIGN RUST EFFECT"
 - COL 1 COLUMN CHS STEEL PAINTED - "DULUX DESIGN COPPER EFFECT"
 - COL 2 COLUMN CHS STEEL PAINTED - "MONUMENT"
 - CONCRETE 1 CONCRETE GREY STEEL THROWWELLED NON SLIP SEALED
 - CONCRETE 2 COLORBOND ROUND PROFILE - "MONUMENT"
 - CONCRETE 3 COLORBOND STEPPED FASCIA - "MONUMENT"
 - DOWNPIPE 1 POWERCOATED ALUM TUBULAR RAL POOL FENCE 180H "MONUMENT"
 - FASCIA 1 COLORBOND MATCH ROOFING
 - FENCE 1 STRATCO GOOD NEIGHBOUR CORRUGATED FENCING - "GUNMETAL GREY"
 - FENCE 2 LIMESTONE BLOCK RETAINING FLUSH JOINTED "MOORE RIVER WHITE"
 - FENCE 3 COLORBOND - COLOUR MATCH ROOFING
 - FLASHING 1 GATE 1/3 POWERCOATED ALUM TUBULAR RAL POOL GATE 180H "MONUMENT"
 - GATE 1/3 GUTTER 1 COLORBOND QUARTER ROUND "MONUMENT"
 - GATE 1/3 LIMESTONE 1 LIQUID LIMESTONE EXPOSED TEXTURE - SEALED - "OFF WHITE"
 - GATE 1/3 MIDLAND CONCRETE PAVING - "ASHLAR CLASSIC" "CHARCOAL"
 - PAVING 1 RENDER 1 RENDER WHITE PAINTED "ANTIQUE WHITE USA"
 - PAVING 2 RENDER 2 RENDER "BUSH PAINTED" "DULUX DESIGN RUST EFFECT"
 - ROOF SHEET 1 COLORBOND CUSTOM ORB (5 DEG) "SMILE GREY"
 - ROOF SHEET 2 COLORBOND TRIMMER (4.5 DEG) "SMILE GREY"
 - ROOF SHEET 3 SUNTUF STANDARD CORRUGATED POLYCARBONATE ROOF SHEET "OPAL"
 - ROOF SHEET 4 SUNTUF SUNITE TWIN WALL POLYCARBONATE SYSTEM "OPAL"
 - ROOF SHEET 5 SUNTUF VILLA BOARD WITH EXPRESSED JOINTS
 - SIGNAGE 1 POWDERCOATED ALUMINIUM WITH TRIM "MATT BLACK"
 - SIGNAGE 2 BRIM VILLA BOARD WITH EXPRESSED JOINTS
 - SOFFIT 1 EXPOSED RAFTERS AND UNDERSIDE OF ROOF SHEETING
 - SOFFIT 2 EXPOSED RAFTERS AND UNDERSIDE OF ROOF SHEETING
 - WINDOWS ALUMINIUM POWDERCOAT "SATIN BLACK"

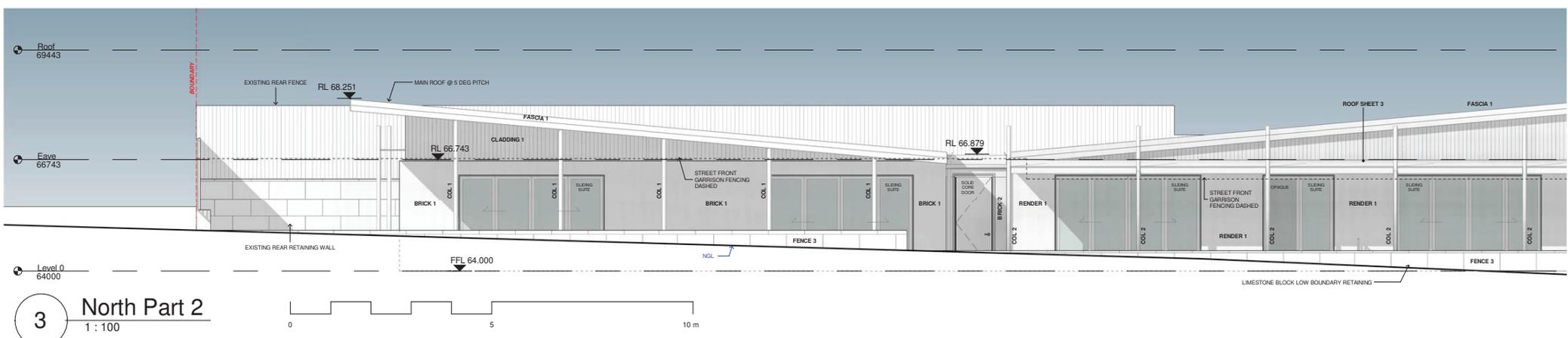
- FINISHES NOTES:**
1. REFER BUILDER'S FINISHES SCHEDULE FOR FINAL SELECTIONS AND COLOURS.
 2. PROVIDE SAMPLES OF ALL MATERIALS (INCLUDING PAINT SELECTIONS) TO OWNER FOR APPROVAL PRIOR TO CONSTRUCTION COMMENCEMENT.
 3. FINISHES INDICATED PROVIDE BENCHMARKS ONLY. ALTERNATIVES SUBJECT TO OWNER APPROVAL.
 4. REFER FINISHES SCHEDULES FOR SELECTION BENCHMARKS AND ADDITIONAL PERFORMANCE REQUIREMENTS.
 5. REFER ACOUSTIC REPORT FOR BOUNDARY FENCE REQUIREMENTS.



1 North
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2 North Part 1
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3 North Part 2
1:100

No.	Description	Date
6	Development Application	07.05.2021
7	Development Application - Comb Sites 13 + 15 Beenyup Rd. 100 Children, 20 Staff, 22 Car Bays	30.06.2021

SUITABILITY DESCRIPTION
PRELIMINARY - NOT SUITABLE FOR BUILDING PERMIT, PRICING OR CONSTRUCTION.

PURPOSE OF ISSUE
OWNER REVIEW, OPERATOR REVIEW, PLANNER REVIEW, CONSULTANT TEAM REVIEW, DEVELOPMENT APPLICATION.

CLIENT
Carmel Group

PROJECT
13 Beenyup Road, Byford WA 6122

SHEET
Elevations

Date
30.06.2021

Drawn by
PS

Checked by
Ordinary Council Meeting - 15 November 2021

Project number
210322

DRAWING NUMBER
AP-401

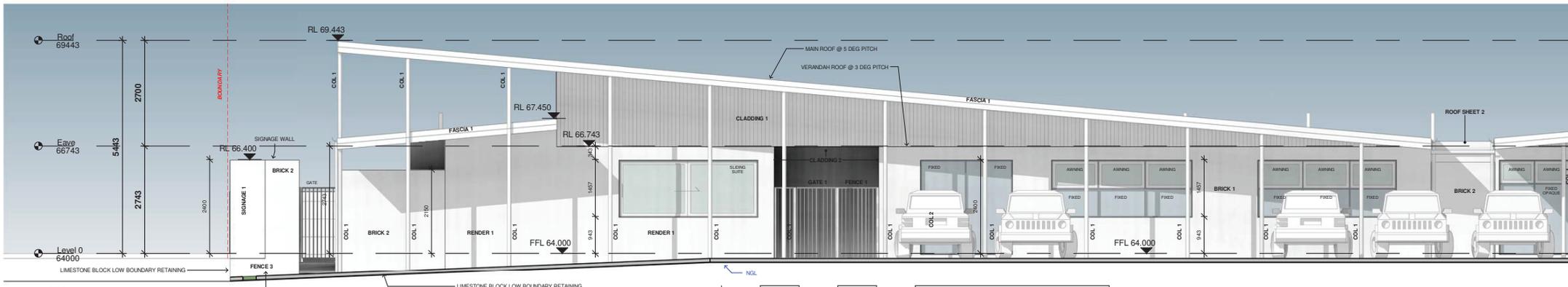
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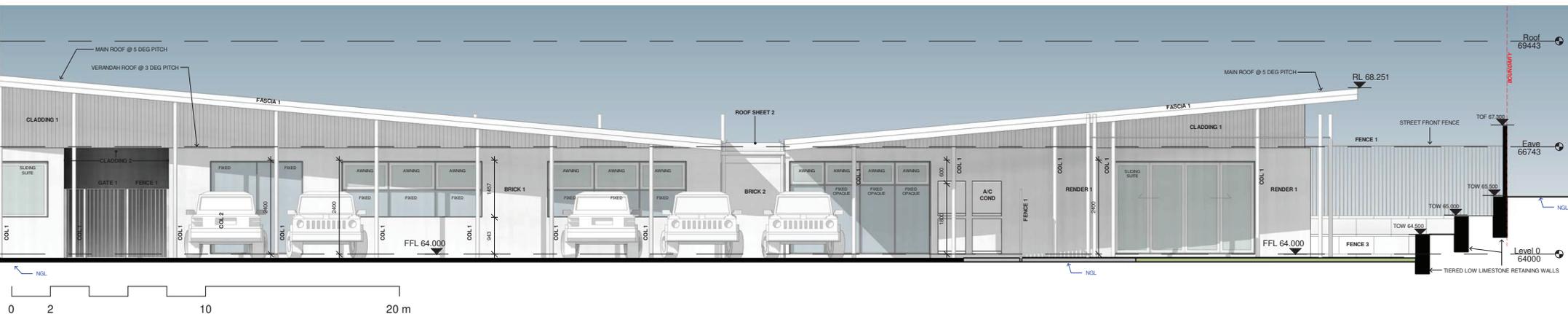


1 South
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- FINISHES NOTES:**
- REFER BUILDER'S FINISHES SCHEDULE FOR FINAL SELECTIONS AND COLOURS.
 - PROVIDE SAMPLES OF ALL MATERIALS (INCLUDING PAINT SELECTIONS) TO OWNER FOR APPROVAL PRIOR TO CONSTRUCTION COMMENCEMENT.
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 - REFER ACOUSTIC REPORT FOR BOUNDARY FENCE REQUIREMENTS.
- ASPHALT 1** FACE BRICK "SILICON NEER METALIC" STACK BOND WITH DARK GROUT
BRICK 2 PAINTED RED COACH BRICK WITH FLUSH JOINT "DOMING"
CLADDING 1 HARDIGROOVE VERTICAL "DULLX DESIGN RUST EFFECT"
CLADDING 2 HARDIGROOVE VERTICAL "DULLX DESIGN RUST EFFECT"
COL 1 COLUMN CHR STEEL PAINTED "MONUMENT"
COL 2 COLUMN CHR STEEL PAINTED "MONUMENT"
CONCRETE 1 CONCRETE GREY STEEL THROVILLED NON SLIP SEALED
DOWNPIPE 1 COLORBOND ROUND PROFILES "MONUMENT"
FASCIA 1 COLORBOND STEPPED FASCIA "MONUMENT"
FENCE 1 POWDERCOATED ALUM TUBULAR GAL. POOL FENCE 1800H "MONUMENT"
FENCE 2 STRATO GOOD NEIGHBOUR CORRUGATED FENCING "GLUMETAL GREY"
FENCE 3 LIMESTONE BLOCK RETAINING FLUSH COATED "MOORE RIVER WHITE"
FLASHING 1 COLORBOND - COLOUR MATCH ROOFING
GATE 1 POWDERCOATED ALUM TUBULAR GAL. POOL GATE 1800H "MONUMENT"
GUTTER 1 COLORBOND QUARTER ROUND "MONUMENT"
LIMESTONE 1 LIQUID LIMESTONE EXPOSED TEXTURE "SEALED - OFF WHITE"
PAVING 1 MIDLAND CONCRETE PAVER - ASHLAR CLASSIC "CHARCOAL"
RENDER 1 RENDER WHITE PAINTED "ANTIQUE WHITE USA"
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SOFFIT 3 EXPOSED RAFTERS AND UNDERSIDE OF ROOF SHEETING
WINDOWS ALUMINUM POWDERCOAT "SATIN BLACK"



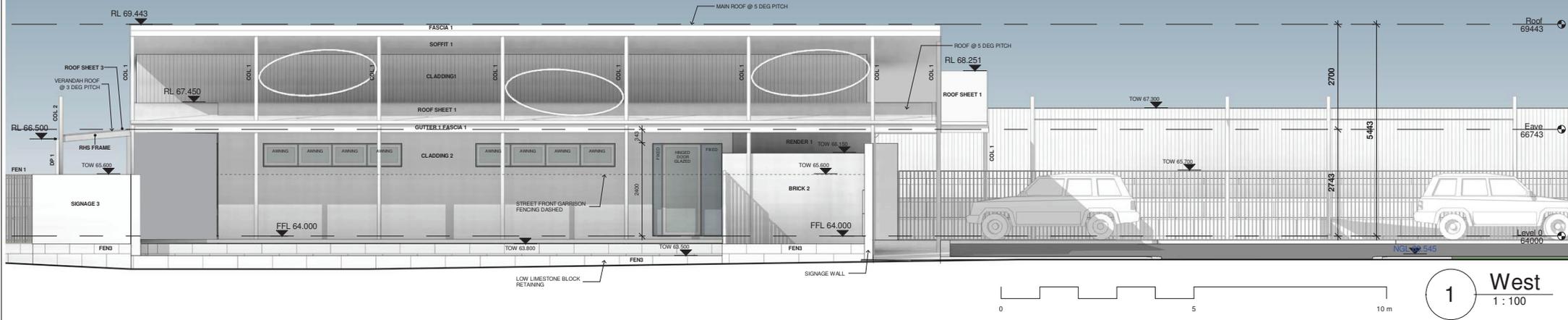
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3 South Part 2
1 : 100

No.	Description	Date	SUITABILITY DESCRIPTION	CLIENT	Date	Project number	Scale (@ A3) 1:200 / 1:100
7	Development Application - Comb Sites 13 + 15 Beenyup Rd. 100 Children, 20 Staff, 22 Car Bays	30.06.2021	PRELIMINARY - NOT SUITABLE FOR BUILDING PERMIT, PRICING OR CONSTRUCTION.	Carmel Group	30.06.2021	210322	Scale (@ A1) 1:100 / 1:50
			PURPOSE OF ISSUE	PROJECT	Drawn by	DRAWING NUMBER	REV
			OWNER REVIEW, OPERATOR REVIEW, PLANNER REVIEW, CONSULTANT TEAM REVIEW, DEVELOPMENT APPLICATION.	13 Beenyup Road, Byford WA 6122	PS		
				SHEET	Checked by	AP-402	7
				Elevations	Ordinary Council Meeting - 15 November 2021		





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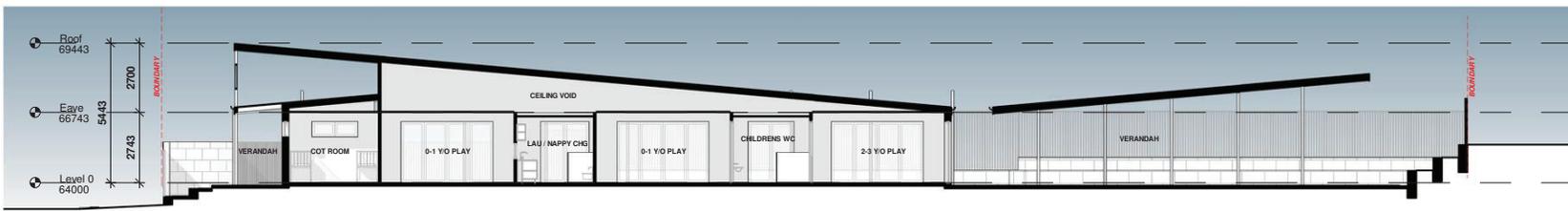
2 East
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- FINISHES LEGEND EXTERNAL**
- ASPHALT 1 ASPHALT HEAVY DUTY 'BLACK' ON ROAD BASE
 - BRICK 2 FACE BRICK 'ESTILONERO METALICO' STACK BOND WITH DARK GROUT
 - CLADDING 1 PAINTED RED COACH BRICK WITH FLUSH JOINT 'COMING'
 - CLADDING 2 HARDGROOVE VERTICAL 'DULUX DESIGN COPPER EFFECT'
 - COL 1 HARDGROOVE VERTICAL 'DULUX DESIGN RUST EFFECT'
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 - SOFFIT 3 EXPOSED RAFTERS AND UNDERSIDE OF ROOF SHEETING
 - WINDOWS ALUMINIUM POWDERCOAT 'SATIN BLACK'

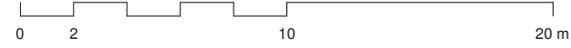
- FINISHES NOTES**
1. REFER BUILDER'S FINISHES SCHEDULE FOR FINAL SELECTIONS AND COLOURS.
 2. PROVIDE SAMPLES OF ALL MATERIALS INCLUDING PAINT SELECTIONS TO OWNER FOR APPROVAL PRIOR TO CONSTRUCTION COMMENCEMENT.
 3. FINISHES INDICATED PROVIDE BENCHMARKS ONLY. ALTERNATIVES SUBJECT TO OWNER APPROVAL.
 4. REFER FINISHES SCHEDULES FOR SELECTION BENCHMARKS AND ADDITIONAL PERFORMANCE REQUIREMENTS.
 5. REFER ACOUSTIC REPORT FOR BOUNDARY FENCE REQUIREMENTS.

No.	Description	Date	SUITABILITY DESCRIPTION	CLIENT	Date	Project number	Scale (@ A3)	1:100
6	Development Application	07.05.2021	PRELIMINARY - NOT SUITABLE FOR BUILDING PERMIT, PRICING OR CONSTRUCTION.	Carmel Group	30.06.2021	210322	Scale (@ A1)	1:50
7	Development Application - Comb Sites 13 + 15 Beenyup Rd. 100 Children, 20 Staff, 22 Car Bays	30.06.2021		PROJECT	Drawn by	DRAWING NUMBER		REV
			PURPOSE OF ISSUE	13 Beenyup Road, Byford WA 6122	PS			
			OWNER REVIEW, OPERATOR REVIEW, PLANNER REVIEW, CONSULTANT TEAM REVIEW, DEVELOPMENT APPLICATION.	SHEET	Checked by	AP-403		7
				Elevations	Checked by	Ordinary Council Meeting - 15 November 2021		

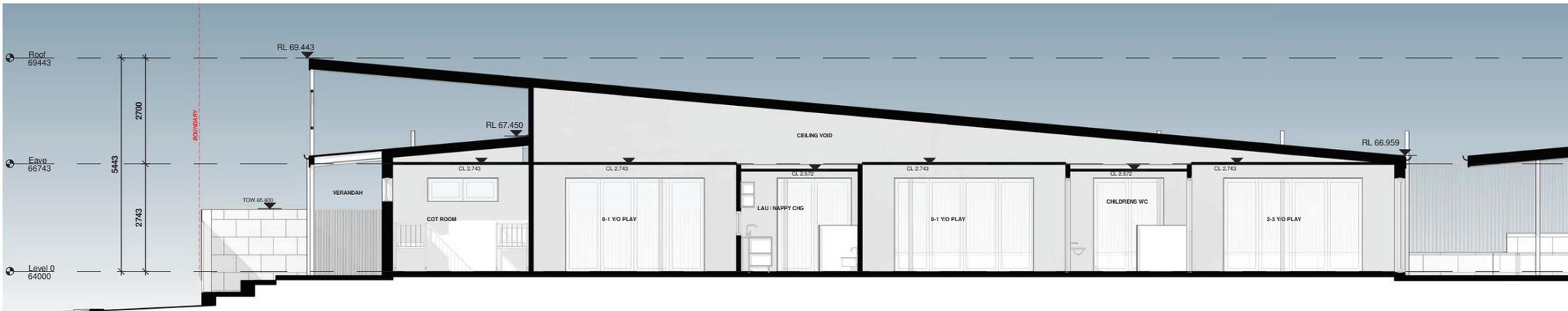
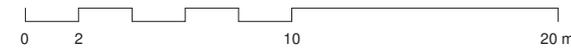




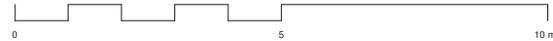
1 Section 1
1 : 200



2 Section 2
1 : 200



3 Section 1 Part
1 : 100



No.	Description	Date	SUITABILITY DESCRIPTION	CLIENT	Date	Project number	Scale (@ A3)	1 : 200
6	Development Application	07.05.2021	PRELIMINARY - NOT SUITABLE FOR BUILDING PERMIT, PRICING OR CONSTRUCTION.	Carmel Group	30.06.2021	210322	Scale (@ A1)	1 : 100
7	Development Application - Comb Sites 13 + 15 Beenyup Rd. 100 Children, 20 Staff, 22 Car Bays	30.06.2021		PROJECT	PS	DRAWING NUMBER		
			PURPOSE OF ISSUE	13 Beenyup Road, Byford WA 6122	Checked by	AP-501		7
			OWNER REVIEW, OPERATOR REVIEW, PLANNER REVIEW, CONSULTANT TEAM REVIEW, DEVELOPMENT APPLICATION.	SHEET	Sections	Ordinary Council Meeting - 15 November 2021		