



SHIRE OF SERPENTINE-JARRADALE

20 FEB 1997

SC SP
 ASC EO
 MPS RINR
 MTS RATES
 PBS ACCTS
 PEHO

FILE

NOTE: ALL DETAILS INCLUDING DIAGRAM NUMBER MUST BE FILLED IN ON THE APPLICATION FORM BEFORE IT WILL BE ACCEPTED.

Permit No.

SHIRE OF SERPENTINE-JARRADALE

WARD

60/97

APPLICATION FORM (Form 2)

CENTRAL

APPLICATION FORM No. 60

To the Building Surveyor:

As the builder or person causing and directing the work undermentioned to be executed, I hereby apply for a Building Licence for same.

The following are the particulars of the proposed works:-

PLAN OR DIAGRAM NUMBER 82617 Street MUNDIJONG ROAD

Town Lot 101 Subdivision Loc House No

New building to be used as RESIDENTIAL

Additions and/or alterations to N/A

The nature of the work is BRICK & METAL DECK

BUILDER'S REGISTRATION No. 7995 CONTRACT ESTIMATED VALUE \$ 127 071.00

Dimensions of Building or Structure

Area 402.52 m² Depth 28320 mm Width 16430 mm Height 2435 mm

Number of Storeys 1

OWNER: Name J. TERRELL Address 2 RODINGA CLOSE ROSSMOYNE

OCCUPIER: Name Address

BUILDER: Name PLUNKETT HOMES Address 915 ALBANY HWY EAST VIC PARK

Signature of person giving notice
 Address 915 ALBANY HWY EAST VIC PARK Telephone 362 5555

OFFICE USE ONLY

Settlement details - being as per AB legon 24/2/97 & PK 5 Stone

Ownership	
Tax Map	A.6 33.0383 Rural
Town Planning	RM. 10/3/97
Env. Health Officer	PHH 17/3/97
Building Inspector	FILL
	R WATER
	FOOTINGS 01/11/97
	BEITH 208125 Rd
Footpath/drive/Crossover	CARD * ✓

FEES	
Building	82 444.75
Application Form	
Survey and Report on Dangerous Structure	
Instal. New Shop Front	
Deposit Material on Street	S/D \$500-
Other	BEITH 254.14
TOTAL	\$698.89

Approved 14 April 1997
 Building Surveyor

*ashes have to go \$698.89 20.2.97. \$500-164.97

Fees Paid

Receipt No. # 31702 # 32858

Footpath/Crossover Fee Paid

Receipt No.

C.D. 5060104 Application No. 60

Permit No. 60/97

60/97

60/97

Entered ✓

Ordinary Council Meeting - 14 December 2020

Notified 14/1/97

PLANNING DEPARTMENT

ZONE PLANNING PROPOSALS

..... M.R.P.A. APPROVAL REQ.

COMMENTS:

.....

.....

.....

.....

.....

.....

.....

.....

.....

EASEMENT OTHER DRAINAGE

DATE TOWN PLANNING

HEALTH DEPARTMENT

HEIGHT OF LEACH DRAIN

FILLING OF LEACH DRAIN AREA 150 mm Leam over clay

COMMENTS:

..... 500 mm

.....

.....

DATE ENVIRONMENTAL HEALTH OFFICER

BUILDING DEPARTMENT

COMMENTS: 10/3/97 Inspection revealed. No Survey Page, Clay, no Power Line, or Building A;

Insurance to come before approval. Deep Joint over permission OK.

600mm Sand PAD MIN REQUIRED

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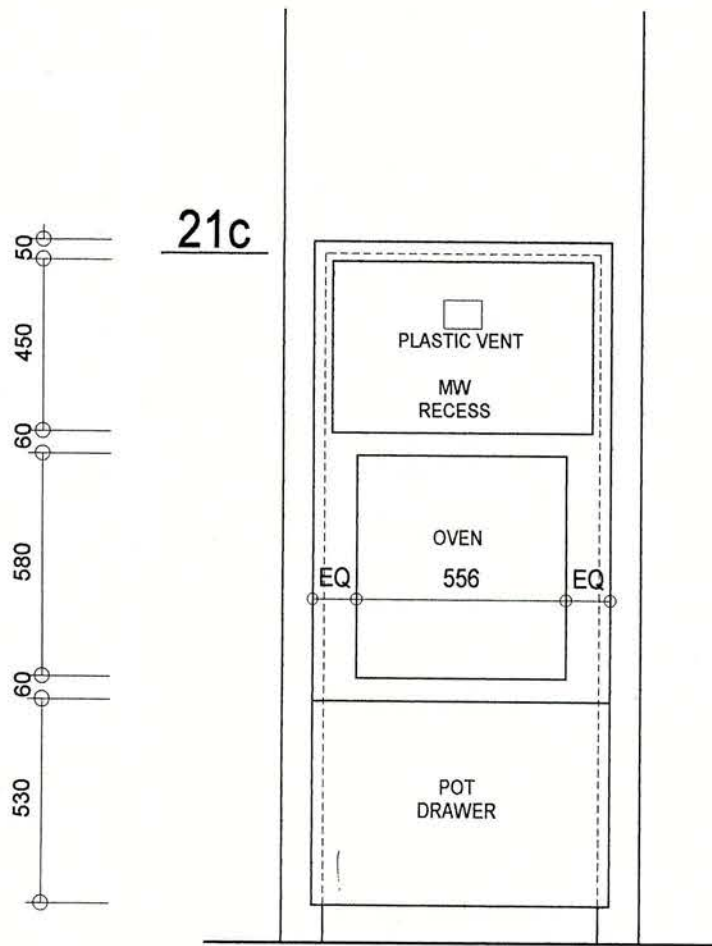
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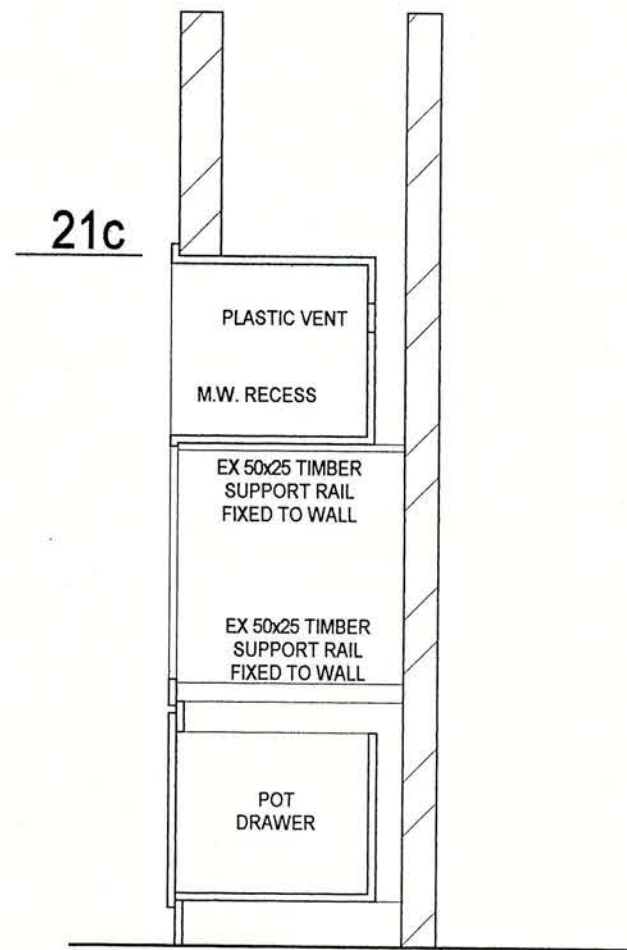
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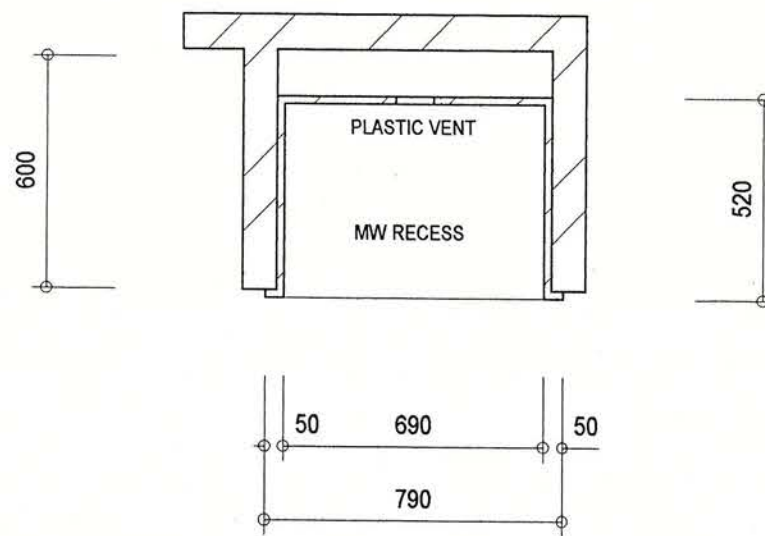
DATE BUILDING SURVEYOR



ELEVATION



SECTION



PLAN

APPROVED BY
 THE SHIRE OF SERPENTINE-JARRAHDALE
Henry Heyman
 M. A.I.B.S., QUAL. L.G.B.S. DIP BLDG., REG BUILDER
 ACCREDITED BUILDING SURVEYOR B.S.A.P.
 DATE: 14/4/97

MW RECESS
 SCALE 1:20

COUNCIL COPY

PLUNKETT
 Future builders.
 PLUNKETT HOMES A DIVISION OF WESTCOURT LTD
 915 ALBANY HIGHWAY EAST VICTORIA PARK 6101
 PHONE 3625555 FAX 3611577
 REG 7995 C COPYRIGHT

SPECIAL

SERIES:

PLAN No.

CLIENT: TERRELL

LOT: 101 MUNDIJONG RD
 PEEL ESTATE

DRAWN: NGB DATE: 06/02/97 SHEET: 7 of 7

REVISIONS:

-

-

-

-

-

JOB No. 7025

APPROVAL WITH HEALTH CONDITIONS OF PERMIT

1. The applicant has provided a copy of the proposed plans to the Council for its consideration.

2. The Council has considered the proposed plans and is satisfied that they comply with the relevant provisions of the Building Regulations and the Building Act 1983.

3. The Council has also considered the proposed plans in relation to the health conditions of the permit and is satisfied that they comply with the relevant provisions of the Building Regulations and the Building Act 1983.

4. The Council has also considered the proposed plans in relation to the health conditions of the permit and is satisfied that they comply with the relevant provisions of the Building Regulations and the Building Act 1983.

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10. The Council has also considered the proposed plans in relation to the health conditions of the permit and is satisfied that they comply with the relevant provisions of the Building Regulations and the Building Act 1983.

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12. The Council has also considered the proposed plans in relation to the health conditions of the permit and is satisfied that they comply with the relevant provisions of the Building Regulations and the Building Act 1983.

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15. The Council has also considered the proposed plans in relation to the health conditions of the permit and is satisfied that they comply with the relevant provisions of the Building Regulations and the Building Act 1983.

16. The Council has also considered the proposed plans in relation to the health conditions of the permit and is satisfied that they comply with the relevant provisions of the Building Regulations and the Building Act 1983.

17. The Council has also considered the proposed plans in relation to the health conditions of the permit and is satisfied that they comply with the relevant provisions of the Building Regulations and the Building Act 1983.

18. The Council has also considered the proposed plans in relation to the health conditions of the permit and is satisfied that they comply with the relevant provisions of the Building Regulations and the Building Act 1983.

19. The Council has also considered the proposed plans in relation to the health conditions of the permit and is satisfied that they comply with the relevant provisions of the Building Regulations and the Building Act 1983.

20. The Council has also considered the proposed plans in relation to the health conditions of the permit and is satisfied that they comply with the relevant provisions of the Building Regulations and the Building Act 1983.

APPROVED
 Subject to compliance with the Building Regulations Planning and Health By-Laws of the SERPENTINE JARRAHDALE SHIRE COUNCIL
 Date 14/4/97 Application No. 0060
60/97 \$ 444 / 75 Fee
Henry Hegarty
 Principal Building Surveyor

S/D \$500.00

Conditions of Permit
 Signature of Applicant [Signature]
 Date 16/4/97

COUNCIL COPY



SHIRE OF SERPENTINE-JARRAHDAL

Building Application No: 60/97

Lot: 101 MUNDIJONG RD

MUNDIJONG

Name: J. TERRELL

CONDITIONS OF APPROVAL: HEALTH

(NOTE: CONDITIONS TICKED APPLY TO THIS APPLICATION AS APPROVAL CONDITIONS)

- | | |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p>1. ALL notations marked on plan in red must be complied with. <input checked="" type="checkbox"/></p> <p>2. BUILDER: Check approved Effluent disposal application for drain height. Builder to provide plumber/drainer with a copy of the approval and conditions. Floor height to be calculated from this information. <input checked="" type="checkbox"/></p> <p>3. NO WORK TO COMMENCE ON SITE UNTIL BUILDERS' TOILET PROVIDED. <input checked="" type="checkbox"/></p> <p>4. Building rubbish to be contained on site in approved bins (Council By-Laws). <input checked="" type="checkbox"/></p> <p>5. Effluent Disposal Installation to be as per approved plans. Amended plans signed by the owner are required for approval before any changes are made. <input checked="" type="checkbox"/></p> <p>6. Minimum cover over sewer pipes to be 300m over top of pipe. Where less than 300mm then brickpaving or slabs required before a health test will be carried out. <input checked="" type="checkbox"/></p> <p>7. Septic tank bottoms: 20mpa CONCRETE, 100mm thick and 75mm beyond external walls, THIS WILL BE CHECKED. <input checked="" type="checkbox"/></p> <p>8. Toilet Ventilation: All Airlocks to be flumed. flume to be a minimum of 0.015sq metres or toilet mechanically ventilated flumed to the outside. <input checked="" type="checkbox"/></p> <p>9. Ensuites: To have mechanical ventilation flumed to the outside. <input checked="" type="checkbox"/></p> <p>10. All health and building conditions to be COMPLETED before a health test will be carried out. <input checked="" type="checkbox"/></p> <p>11. Occupancy upon completion: Builder's responsibility to OBTAIN HEALTH CERTIFICATE. Failure to obtain same from Shire, regardless of tests carried out, may result in PROSECUTION OF BUILDER. Dwelling not to be occupied until Certificate obtained. Owner to sight the Certificate before taking possession. <input checked="" type="checkbox"/></p> <p>12. WORK BY OWNERS: When affecting a Health Test such work is to be completed before the Health test AND IS THE RESPONSIBILITY OF THE BUILDER. <input checked="" type="checkbox"/></p> <p>13. All health and building conditions to be COMPLETED before a Health Test will be carried out. Builders are warned that if a house is presented for a Health Test when not finished or not to a proper tradesmanlike standard, then a fee will be required for each subsequent inspection. <input checked="" type="checkbox"/></p> <p>14. STORM WATER DISPOSAL: See Building Surveyor's condition on plans. <input checked="" type="checkbox"/></p> | <p>15. _____ m long Leach drains 4 courses (3 effective) and 840m lids. Parallel drains to be minimum 2m apart. Diverter apparatus to be of an approved type. Diverter for pump to be approved 3 way 40mm valve. <input type="checkbox"/></p> <p>16. Leach drain lids to be _____ mm above natural ground level. Surround with _____ m of sand fill to a height of 200mm above the lids. Coarse, sharp and clean sand only. <input type="checkbox"/></p> <p>NOTE: Leach drain lid heights more than 600mm above natural ground or cut level means that a cushion of sand must be placed beneath the leach drain segments or sections (4 course drains are 600mm high).</p> <p>Modular section leach drains must have 150mm blue metal at sides with shade cloth over.</p> <p>17. Leach drain lids to be at existing ground level. <input type="checkbox"/></p> <p>18. Leach drain lids to be maximum 300mm below ground level. <input type="checkbox"/></p> <p>NB. All leach drains to be 30m from any bore or well and 6m from any sub-soil drain.</p> <p>19. Backfill cover over leach drain lids to be minimum 200mm deep. <input type="checkbox"/></p> <p>20. Clay bunding around Leach drains to a height of 500mm. Clay should be keyed into natural earth. <input type="checkbox"/></p> <p>21. Sump/Pump installations must have audible pump failure alarm fitted inside dwelling. <input checked="" type="checkbox"/></p> <p>22. Aerobic Treatment Unit
Disposal area <u>150</u> sq metres in area.
<u>500</u> mm above natural ground level. <input checked="" type="checkbox"/></p> <p>23. Amended Soil _____ mm depth. <input type="checkbox"/></p> <p>24. Ecomax Leach Drain System 2 x _____ m drains.
Membrane - Max- _____ mm below natural ground level. <input type="checkbox"/></p> <p>25. Water Supply: One 92,000 litres (20,000 gal) rain water tank to be provided for domestic purposes unless a satisfactory bore is provided. Bore water quality to be tested and results approved by Council before a Health Test. Water Supply to be established before a Health Test. <input checked="" type="checkbox"/></p> <p>26. _____ <input type="checkbox"/></p> |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

COUNCIL COPY

Allied Minet

A division of Minet Australia Limited
A.C.N. 004 487 996

LOCAL GOVT COPY

Insurance Brokers and Risk Consultants

ALLIED MINET HOME INDEMNITY INSURANCE

Owners' Application Form

I/We apply for insurance cover under the Allied Minet Home Indemnity Insurance

I/We have received a copy of and read and understood the Policy's terms and conditions

I/We agree that this Application Form, the details completed on the Certificate of Insurance and any supplementary information sheet(s) attached hereto shall be the basis of the contract with the Insurer

Owner's Signature(s) *Jan Terrell* Date *14.7.97.*

CERTIFICATE OF INSURANCE

for the

Allied Minet Home Indemnity Insurance

Underwritten by GIO Insurance Ltd ACN 052 179 647
and QBE Insurance Limited ACN 000 157 899

ISSUED TO:

CERTIFICATE NUMBER: PLU/T-002

Owner's Name(s)	TERRELL: JAN	Date of Issue	31/1/97
Postal Address	2 RODINGA CLOSE ROSSMOYNE WA 6148	Builders Job No	7025
		Contract Date	EST 14/2/97
		Telephone	354 4034
Site Address	LOT 101 MUNDIJONG ROAD, MUNDIJONG		
Contract Value	\$ 127,071.00	Premium	\$Paid by Builder
Name of Builder	Westcourt Limited (ACN 009 250 373)		
Cover - As per Home Indemnity Insurance Policy Wording Ref A2/IC0033 in accordance with the Home Building Contracts Act 1991 of Western Australia			
For and on behalf of the Insurers			



Please Note

Allied Minet (a division of Minet Australia Limited ACN 004 487 996) have arranged this insurance on your behalf as Agents for the Insurers.

Notice of Claims

Notice of facts that might give rise to a claim must be given to the Insurers via Allied Minet as soon as possible (and in any case within 90 days) after the Insured becomes aware of those facts. The Policy does not provide cover in relation to events that occurred prior to the date of issue on this Certificate of Insurance.



INSPECTION CHECK LIST

Builder: PRUNKETT HOMES
Plumber: _____

Inspection Date
8/8/97.

SYSTEM Septic _____ Bio CI90 _____ Eco _____

TANKS Bottoms _____ Inlet/Outlet _____

Sump _____ Pump _____ Alarm _____

LEACH DRAINS Len _____ Spl _____ Fill _____

Disposal Area _____

Planting _____

LIGHTING AND VENTILATION TILING

Kitchen See ① Laundry WC See ③

Airlock Flume _____ F/Waste _____

En Suite See ③② Flume _____

DRAINS

DT _____

Vents (mosq proof) Main _____ Back _____

Fall _____

REMARKS REQUIRE ① FLUME + FAN OVER HOT PLATE. ② SELF-CLOSING DOOR - ENSUITE. ③ FANS ABOVE VENTS IN MAIN WC & ENSUITE.

C:\Health\Foms\Checklst.doc

*NOTE

ON SCHEME WATER
AS PER OWNERS ADVICE

7/4/97

PAH

17/3/97

LOT 101 MUNDIJONG RD

(M)



BIOMAX

TERRELL
10.1.8 - attachment 1



WASTEWATER RECYCLING SYSTEMS
BIOMAX PTY LTD A.C.N. 076 357 296

FAX

PO Box 720 Balcatta WA 6021
Suite 1 - 231 Balcatta Road, Balcatta WA 6021
Phone: (08) 9345 3071 Fax: (08) 9345 3171

SHIRE OF SERPENTINE/JERRARDALE

8 SEP 1997

SC	<input type="checkbox"/>	SP	<input type="checkbox"/>
ASC	<input type="checkbox"/>	EO	<input type="checkbox"/>
MPS	<input type="checkbox"/>	RNGR	<input type="checkbox"/>
MTS	<input type="checkbox"/>	RATES	<input type="checkbox"/>
PBS	<input type="checkbox"/>	ACCTS	<input type="checkbox"/>
PEHO	<input checked="" type="checkbox"/>		<input type="checkbox"/>

FILE

TO: *Shire of Serpentine/Jerrardale* FAX No. *525 5441*

ATTENTION: *Peter Haas* DATE: *8.9.97*

FROM: *Campbell Durrant*

SUBJECT: *Amended Irrigation Area.*

NUMBER OF PAGES: (INCLUDING THIS SHEET) *2*

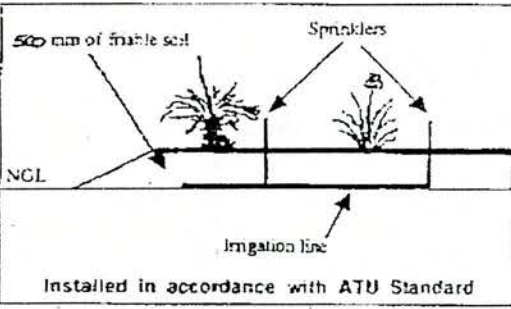
Dear Peter,

Amended plan for lot 101

Mundijang Road, Peel Estate.

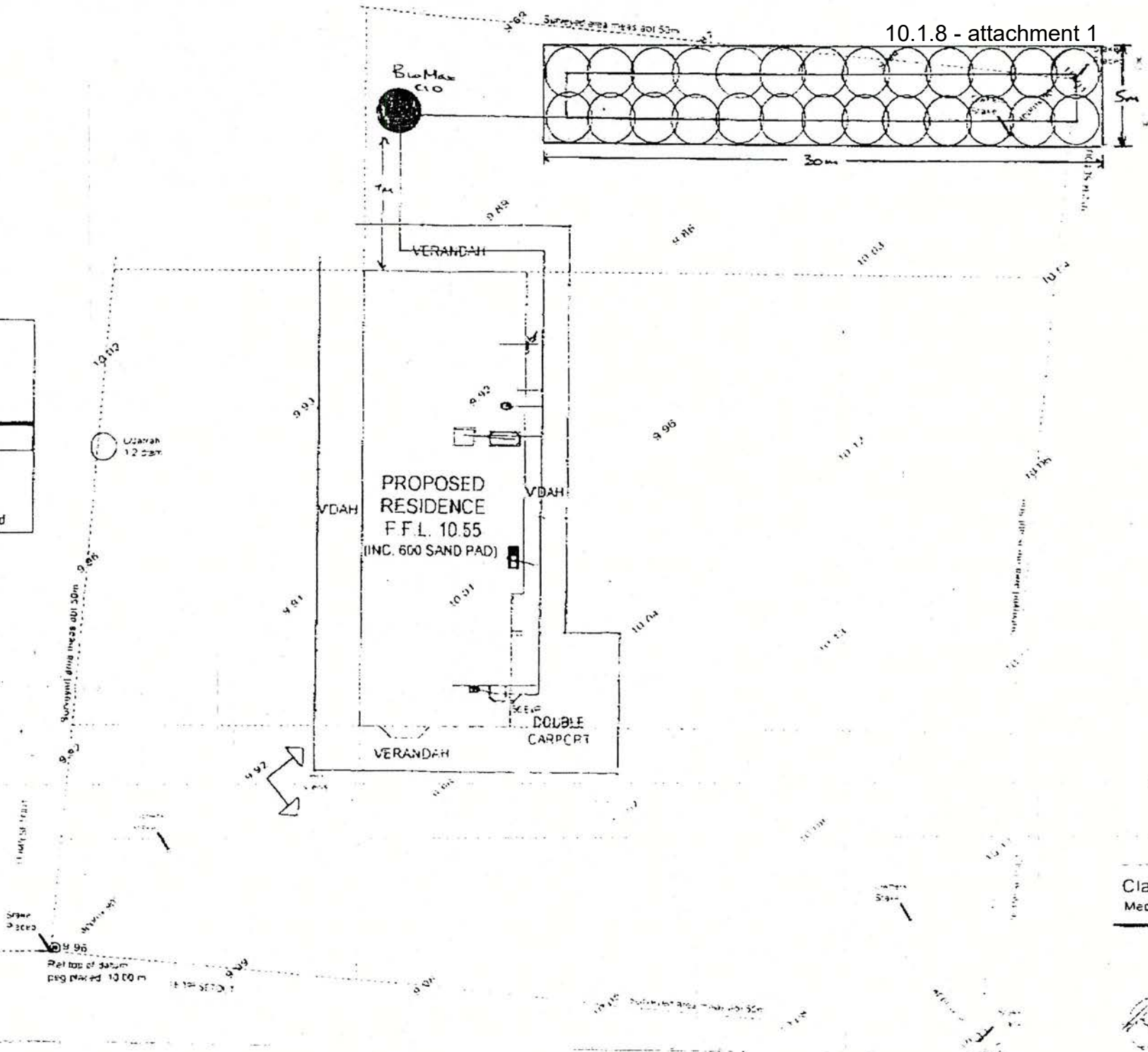
Regards
Campbell

10.1.8 - attachment 1



Legend

	300 degree spray head
	180 degree spray head
	90 degree spray head
	Drip emitter
	5 litre emitter
	25 mm irrigation line
	Perforated subsoil drain
	Retaining wall
	Irrigation structure
	Door
	Level of an object reference plane
	Manhole sign
	Crest height 1.2 m high
	150 mm impervious area
	Block size > 1000 mm
	Soil type Sand
	Pipe specification EB400 0



Clay Medium G1



SHIRE OF SERPENTINE-JARRAHDAL

6 Paterson Street, Mundijong WA 6202
 Tel: (09) 525.5255 Fax: (09) 525.5441

**SUGGESTED TESTING CHECK LIST
 FOR AEROBIC TREATMENT UNITS**

1.	Have unit filled 24 hours prior to test, then conduct all hydrostatic tests as per a conventional septic tank system.	<input type="checkbox"/>
2.	AEROBIC TREATMENT UNIT (ATU)	
2.1	Check water levels in all chambers of the ATU.	<input checked="" type="checkbox"/>
2.2	Visually check to see if growth media is in position.	<input checked="" type="checkbox"/>
2.3	Switch on blowers/aerator and check aeration of chamber.	<input checked="" type="checkbox"/>
2.4	Check sludge return is operational.	<input checked="" type="checkbox"/>
2.5	Check skimmer return is operational.	<input checked="" type="checkbox"/>
2.6	Check chlorine dispenser(s).	<input checked="" type="checkbox"/>
2.7	Check high water level float and blower/aerator alarm(s).	<input checked="" type="checkbox"/>
2.8	Ensure that all fittings and protective covers are secured.	<input checked="" type="checkbox"/>
3.	IRRIGATION AREA	
3.1	Check that the irrigation area is sized correctly.	<input type="checkbox"/>
3.2	Pad height to be at least 500mm above highest known water table.	<input type="checkbox"/>
3.3	Irrigation system to be fixed and at 150mm below surface.	<input type="checkbox"/>
3.4	Check set back requirements from <ul style="list-style-type: none"> - boundaries - buildings - pools (see guidelines) - bores, drains, etc. 	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
3.5.1	Check irrigation spray <ul style="list-style-type: none"> - height - 600mm max - area - 3m radius max - sprayers face inwards onto disposal area 	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
3.5.2	Check dripper irrigation (No amended soil) <ul style="list-style-type: none"> - 100mm of approved material on surface (sub-strata) - area planted out - 150mm below ground surface (sub-surface) 	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
3.6	Disposal area to be retained if required.	<input type="checkbox"/>
3.7	Friable soil or mulch to be distributed over the area and plants to be planted into position.	<input type="checkbox"/>
3.8	Warning signs to be placed in position.	<input type="checkbox"/>
4.	COMMENTS	<input type="checkbox"/>

Signature

Date

Approval No. 767-97

Dimensions

Receipt No. 1972

Circular

Rectangular

- A 1520 mm
- B 1220 mm
- C 1065 mm

- A..... m..... mm
- B..... m..... mm
- C..... m..... mm
- D..... m..... mm



LOCATION AND OWNER (To be completed by Applicant)

NAME (Block Letters) TERRELL

LOT No. 101 STREET MUNDLING ROAD Town PEEL ESTATE

BLOCK PLAN (not to scale)



RECOMMENDATIONS TO THE EXECUTIVE DIRECTOR, PUBLIC HEALTH

(To be completed by the Local Authority)

RECOMMENDED—(Conditions)

NOT RECOMMENDED—(Reasons)

BIOMAX/CLEARWATER 90 A.T.U.:
INSTALLED PER SPECIFICATION (H.D.W.A.)
DISPOSAL AREA 150sqm ⁵⁰⁰ mm
ABOVE GROUND LEVEL: ~~200mm~~ Amend. Soil

LOCATION—(e.g. 3rd lot on the left south of Brown Street).....

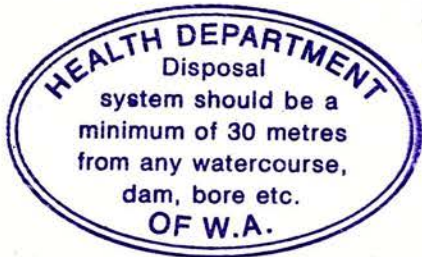
NATURE OF SOIL—(e.g. clay, sand, gravel, loam, etc.)..... *150mm loamy sand over*

orange clay

WATER SUPPLY—Source of Supply and if permanent **BORE AND/OR CATCHMENT**

TYPE OF DISPOSAL AND DIMENSIONS— *As per plan*

N.B. All Health and Building conditions to be completed before a Health Test will be carried out.
Install as per plan. No variation permitted unless amended plans approved by Shire.



1. Surface of imigation area must be 500mm above highest known watertable.

2. Amended plan must be submitted for approval if location of imigation area is altered.

[Signature]

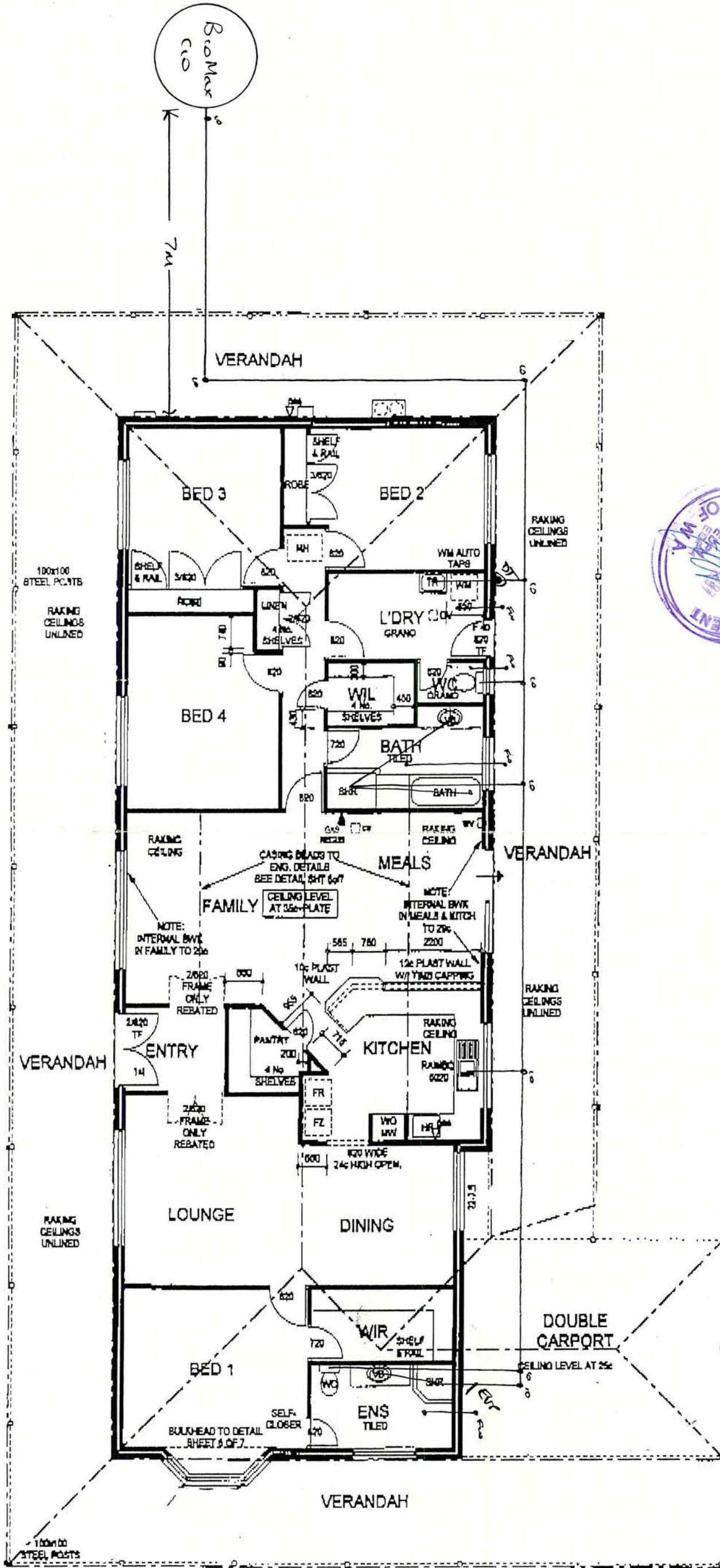
ENVIRONMENTAL HEALTH OFFICER _____

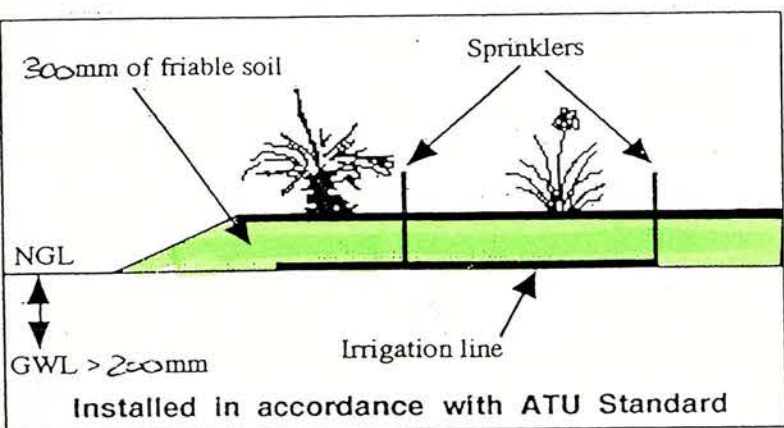
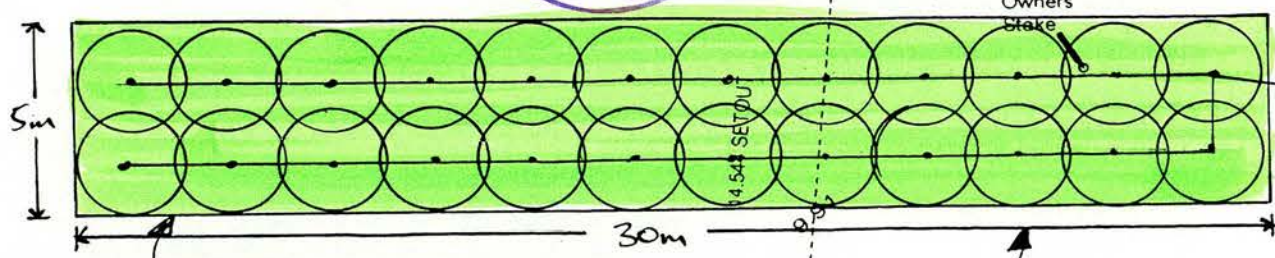
LOCAL AUTHORITY SHIRE OF SERPENTINE-JARRAHDAL MUNDIJONG, W.A. 6202 DATE 17/3/97

HEALTH DEPARTMENT OF WA RECOMMENDATIONS

Date 3/4/97 ENVIRONMENTAL HEALTH OFFICER Jane Waterhouse
Ordinary Council Meeting - 14 December 2020

CLIENT: TERRELL
LOT: 101 MUNDIJONG RD
PEEL ESTATE



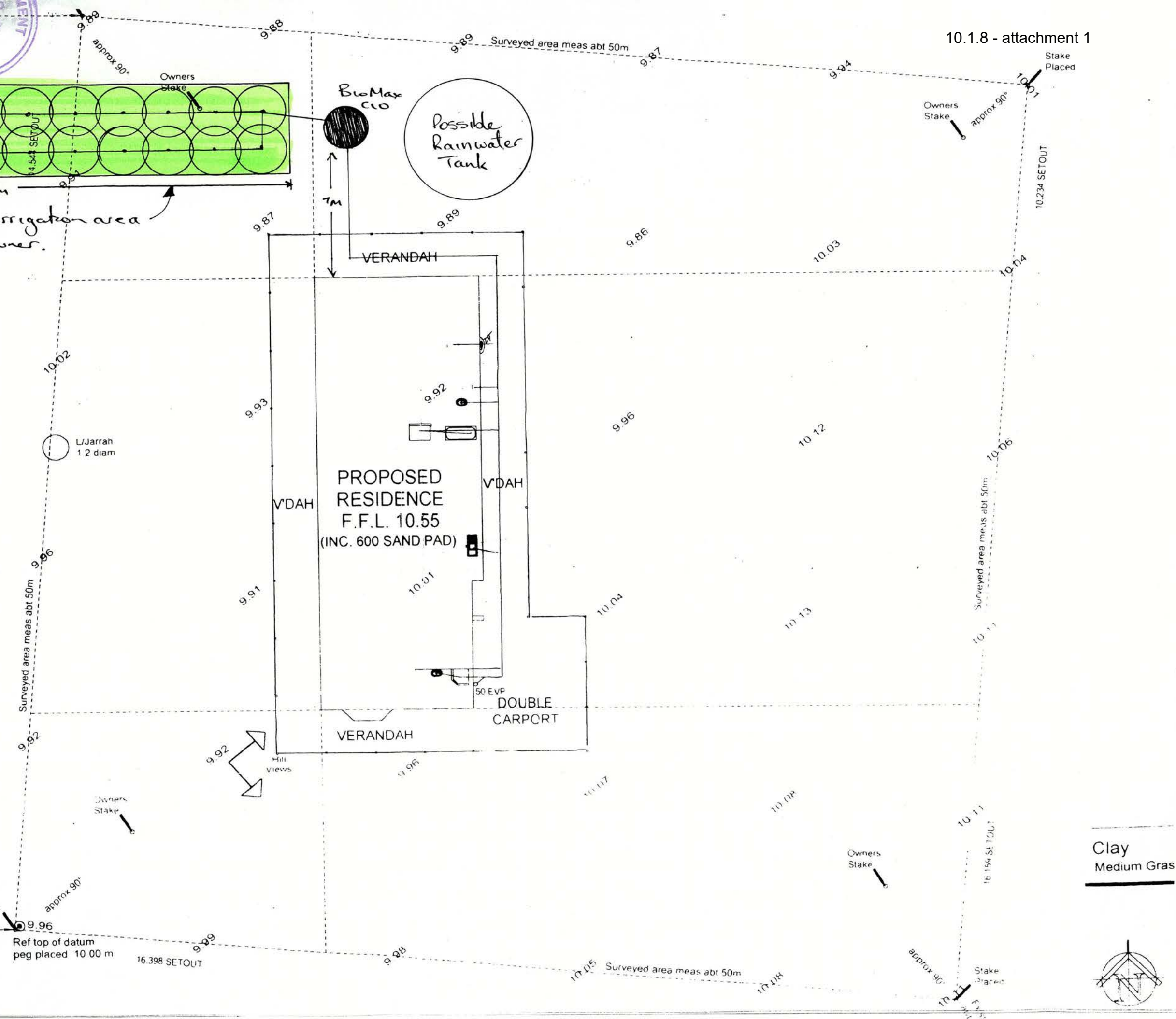


Durant & Waite Pty Ltd
Legend

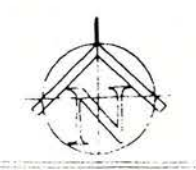
- 360 degree sprayhead
- 180 degree sprayhead
- 90 degree sprayhead
- Dripper emitter
- Subsurface emitter
- 25 mm irrigation line
- Perforated subsurface drain
- Retaining wall
- Irrigation area retaining
- Bore

Topography

- Level: if no contour references shown
- Warning sign
- Closed fence > 1.2 m high
- 150 m² irrigation area
- Block size 71000 m²
- Soil type Sand
- Pump specification Abva 300



Clay
Medium Gras





PO Box 720 Balcatta WA 6021
Suite 1 - 231 Balcatta Road, Balcatta WA 6021
Phone: (08) 9345 3071 Fax: (08) 9345 3171

WASTEWATER RECYCLING SYSTEMS
BIO-MAX PTY LTD. AU N. 050307 290

FAX

TO: Shire of Serpentine/Suvalley FAX No. 525 5441

ATTENTION: Peter Haas

DATE: 8.9.97

FROM: Campbell Durrant

SUBJECT: Amended Irrigation Area.

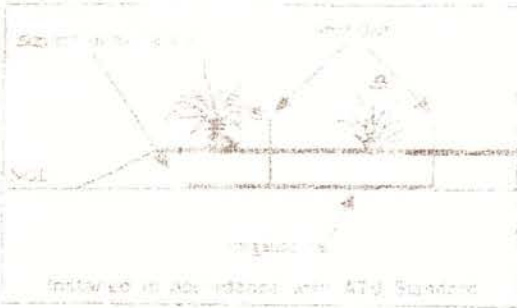
NUMBER OF PAGES: (INCLUDING THIS SHEET) 2

Dear Peter,

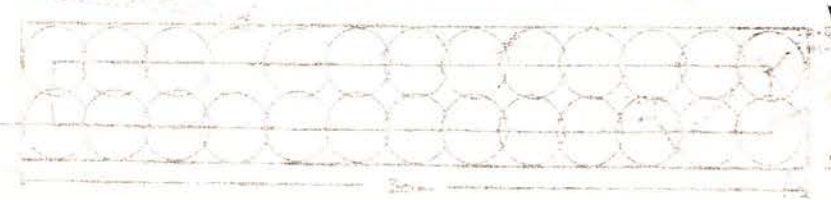
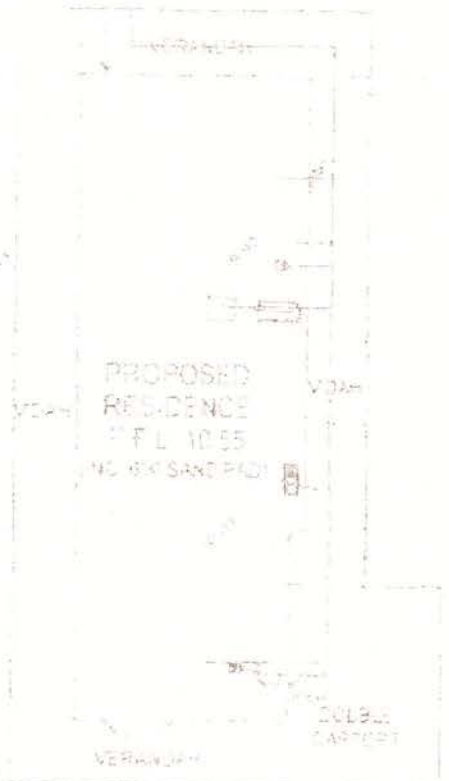
Amended plan for Lot 101

Mundijong Road, Peel Estate.

Yegada
Campbell



General Symbols	
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Clay
Medium

8/8/97 - FRIDAY.

Called out for Health Test at 10am.

Drainer present - drains were NOT on test at 10am. Main plug blew out so drains had to be filled again. Eventually drains on hydrostatic test. Both pans leaking visibly.

At 10.40am drainer located leaking cap.

I had another appointment so couldn't hang around for any longer. Because pans needed to be topped up again then dinner test.

No part of the test completed.

Biomax personnel were NOT on site. Irrigation area is NOT complete - no sprinklers evident.

Rang Plunkett Homes - Ron GRANT - advised him that no part of test completed.

Biomax reps were NOT on site. Require drainer & Biomax to be synchronised for 1 inspection. \$25 reinspection fee will be applicable prior to inspection.

Also advised Ron that -

- ① ~~Fume vent fans required in ensuite.~~ ^{DELETE - NOT detailed on approved plan.}
- ② Self-closing door required - ensuite.
- ③ Fans required in main WC & ensuite when fume vents have already been installed.

SHIRE OF SERPENTINE-JARRAHDALE

APPLICATION FOR TRANSFER OF LICENCE FOR AN OFFENSIVE TRADE

I of

 hereby make application for the
 registration of premises situated at

 which are currently licenced
 as a to be transferred to my/our name.

SIGNATURE:

DATE:

STAGE TWO

- Attach Building Condition Sheet
- Sand Pad Stamps
- Setbacks
 - Front 7.5 12 20 Other
 - Side 1 1.5 3 5 10 Other
 - Rear 1 3 5 12 20 Other
 - Secondary Street 4.5 6
 - Outbuildings - Distance from Residence 1.8
 - 750mm from Gutters
- Plot Ratio - Site Coverage (check Small Lots)
- Review Earthbank Retaining items
- Footing/Slab Details
- Town Planning Conditions - see Form 2
(drawings to be sighted by Planning Officer and signed)
- Liaison with Fire Brigade

BUILDING CODE

- | | |
|----------------------------------------------------------|--------------------------------------------------------------------|
| <input checked="" type="checkbox"/> Room Sizes & Heights | <input checked="" type="checkbox"/> Strutting |
| <input checked="" type="checkbox"/> Light & Ventilation | <input type="checkbox"/> Escape Doors |
| <input checked="" type="checkbox"/> Wall Construction | <input type="checkbox"/> Fire Brigade Requirements |
| <input checked="" type="checkbox"/> Footing Detail | <input type="checkbox"/> Staircase Width |
| <input type="checkbox"/> Timber Framework | <input type="checkbox"/> Fire Separation (Group Hsg/Multiple Dev) |
| <input type="checkbox"/> Ant Caps | <input type="checkbox"/> Safety Mesh Highlights |
| <input type="checkbox"/> Reo Brick Piers | <input type="checkbox"/> Height of Outbuilding (3m max) |
| <input type="checkbox"/> Roof Timbers, Spaces | <input type="checkbox"/> Outbuildings |
| <input type="checkbox"/> Beam Sizes | <input type="checkbox"/> Disabled Requirements |
| <input checked="" type="checkbox"/> Check Specifications | <input checked="" type="checkbox"/> Anchorage of Lightweight Roofs |
| <input type="checkbox"/> Durability of Timber | <input checked="" type="checkbox"/> Metal Roof Framing |
| <input type="checkbox"/> Security Deposit | |

SUNDRY ITEMS

- Subdivisional Approval (Dealing No) _____
- Attached Stat Dec to outside of envelope
- Attached copy of Stat Dec - Information on Builder's Copy
- Plans prepared to Builder's and Council copies
- Enter date processed into red register, and forward to Building Surveyor
- Bonds required Landscaping Transportable Secondhand Dwelling
- Other _____

CHECK LIST (FOR PLAN PROCESSING)

APPLICATION No. 60/97

DATE: 24.2.97
 LOT No 101 STREET Munelony Rd
 BUILDER: Plunkett Phone No: 362.5555

STAGE ONE INFORMATION REQUIRED TO PROCESS APPLICATION

- Tax Sheet, CD, Ward, Area, Fees
- Check Setbacks & Contour Lines
- Check Earthbank Heights - 2m max or refer to Council
- Are Retaining Walls required prior to Main Development
- Council Variation required "R" Codes
- Builder/s Registration Number (check to ensure correct)
- Signature of Person Giving Notice
- Zincalume Roof Colorbond Roof Tile Roof
- Durability of Timber Steel Frame
- Filled in Addenda's and Specification/s
- Two copies of Plan
- Site Assessment for Engineer's Detail
- Engineer designed Footing Details
- Certificate of Footing & Slab Design - 85mm
- Are there Restrictive Covenants applicable
- Second Hand Dwelling
- Planning Consent required - 3 Copies Site Plan + Fee
 - Commercial Town Centre
 - Multiple Development/Group Housing MRPA Major Roads P
 - Industrial Single Residential
 - Rural General Rural
 - Scenic Road Strata
- Standard Letters re: New Subdivision Dealing Number and/or Town Planning Approval requirement sent:
 - BA/1 (to Builder - Subdivision Dealing No)
 - BA/2 (to Owner - Subdivision Dealing No)
 - BA/3 (to Builder - Town Planning Approval)
- Plans submitted to Fire Brigade Ph: 323.9300
- Septic Tank Application and \$..... Fee
 - Alternative System Bio Eco Clwtr Other
 - Normal Septics
- N/A Owner Builder/s Stat Dec Ownership Checked All Owners signed
- Copy of Builder/s Conditions to Owner
- Is the item to be referred to Council Yes
 - Transportable Residence Variation Setbacks Oversize Building
 - Other Details: 2nd residence on lot.

*Settlement details? Requested copy of Title from Plunkett 24/2/97
 To be forwarded 24/2/97. Requested Plunkett.*

Applicant advised that information marked * is required.

Date: 10/3/97 Name of Person Advised Tanya

Other Information Required: MRD comment required. Refer letter dated 1/4/97

SITE INFORMATION SHEET

Proposed New Dwelling Patio/Enclosure
 Additions Outbuilding Swimming Pool
 Owner J. TERRELL House No. _____ Lot No. 101
 Street MUNDIONS RD Cnr _____ District Mundiong
 Builder Pronkett Homes Pty Ltd Map Ref _____
 Plans Dated: 24/2/97

SITE INSPECTION REPORT

1. Footpath YES NO Terrain Cat.
 2. Provide level at kerb incline with driveway: NO KERB
 3. Have earthworks been carried out? YES NO
 4. Is there any indication of rock/clay? YES NO - 600mm SPAD ROAD
 5. Are boundary clearances correct? YES NO
 If not, please indicate:

NO SURVEY PEGS

6. Are retaining walls required that are not indicated on the plans. If so, please indicate:
NO

7. Are any obstructions on the verge: NO - TREES ONLY

8. Is the location of the crossover correct? YES NO

9. Are there any problems on adjoining lots? YES NO

10. Are there any problems with existing buildings? NO

11. Are there any high voltage transmission lines which may affect the location of the proposed structure?
NO

12. Please provide any comments/sketch contours if they are incorrect or not provided:

- 12A. Pool fencing. N/A

13. Is there any further action to be taken? YES NO

MRD Commit required
ZND Dwelling

PRINCIPAL BUILDING SURVEYOR Sherry Hegarty DATE 10/3/97

R.R. Fletcher & Associates

Consulting Civil and Structural Engineers

117 Carawatha Avenue
Armadale W.A. 6112

Telephone (09) 399 4526

SHIRE OF SERPENTINE GARDENDALE

OUR REF:
YOUR REF:

2 MAY 1997

- | | | | |
|------|-------------------------------------|-------|--------------------------|
| SC | <input type="checkbox"/> | SP | <input type="checkbox"/> |
| ASC | <input type="checkbox"/> | EO | <input type="checkbox"/> |
| MPS | <input type="checkbox"/> | RNGR | <input type="checkbox"/> |
| MTS | <input type="checkbox"/> | RATES | <input type="checkbox"/> |
| PBS | <input checked="" type="checkbox"/> | ACCTS | <input type="checkbox"/> |
| PEHO | <input type="checkbox"/> | | <input type="checkbox"/> |

DATE 1/5/97
TIME 3:30 pm

FILE 60/97

TO WHOM IT MAY CONCERN

COMPACTION COMPLIANCE CERTIFICATE

NAME Mrs. Mrs. Jessell
 LOCATION Lot 101 Mundijong Rd
PEEL ESTATE

This is to certify that the following blows per 300mm depth at 3 metre intervals, as shown below, were achieved on the above sand pad using standard pentrometer test methods in accordance with Australian Compaction Codes.

Mundijong Rd

8	8	7	7
X	X	X	X
8	7	7	8
X	X	X	X
8	7	7	7
X	X	X	X

60/97

SITE PLAN

Yours faithfully,

R.R. Fletcher

Ordinary Council Meeting - 14 December 2020

with compliments 10.1.8 - attachment 1

SHIRE OF SERPENTINE - JARRAHDALE
ATTN: BUILDING DEPT

PERMISSION FOR BUILDING -
CONFIRMATION OF OWNERSHIP

LOT 101 MUNDIJONG ROAD, MUNDIJONG
AS REQUESTED

Thanks!

PLUNKETT

Future builders.

Plunkett Homes

A.C.N. 009 250 373

Ordinary Council Meeting - 14 December 2020

915 Albany Highway, East Victoria Park, 6101. Telephone 362 5555
Member of the Master Builders' Association of W.A. Reg. No. 7995

RECEIVED
- 4 FEB 1997

1 February 1997

Plunkett Homes
PO Box 379
VICTORIA PARK WA 6100

Attention: Graeme Fellows

Dear Mr Fellows

Re: Erection of House on Lot 101 Mundijong Road, Mundijong.

We the undersigned, being joint owners with Jan Terrell of Lot 101 Mundijong Road, Mundijong, are aware of and give permission, to Jan Terrell to build her residence on the above mentioned property.

Yours sincerely

David J Ferguson

David J Ferguson

A.B. Ferguson

Anne Beverley Ferguson

COUNCIL COPY

KERRY HEGNEY
PRINCIPAL BUILDING SURVEYOR

SHIRE OF SERPENTINE-JARRADALE

25 FEB 1997

SC	<input type="checkbox"/>	SP	<input type="checkbox"/>
ASC	<input type="checkbox"/>	ED	<input type="checkbox"/>
MPS	<input type="checkbox"/>	LD	<input type="checkbox"/>
MTS	<input type="checkbox"/>	PLANS	<input type="checkbox"/>
PBS	<input checked="" type="checkbox"/>	ACCTS	<input type="checkbox"/>
PEHO	<input type="checkbox"/>		<input type="checkbox"/>
FILE			



22
7

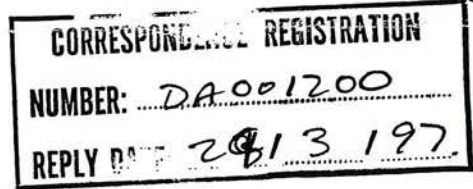
Future builders.

915 Albany Highway, East Victoria Park, 6101. Telephone 362 5555.
P.O. Box 379 Victoria Park 6100 Fax 361 1577
Member of the Master Builders' Association of W.A. Reg. No. 7995

11th March, 1997

Shire of Serpentine-Jarrahdale
6 Paterson Street
MUNDIJONG WA 6202

Attention: Building Department



Dear Sir

RE: LOT 101 MUNDIJONG ROAD, MUNDIJONG

I/We on behalf of the Main Roads Department hereby give notice of having sighted the proposed plans for Lot 101 Mundijong Road, Mundijong, by Plunkett Homes and approve of the construction of the residence having given note to the proposed road widening in the area.

(Name - Please Print)

(Signed)

(Dated)

Over 90 years in W.A.
A division of Westcourt Ltd.
A.C.N. 009 250 373

Enquiries: Mr P O'Loughlin on 323 4429
 Our Ref: 41-2027-4 00000893.MEP
 Your Ref:

Chief Executive Officer
 Shire of Serpentine-Jarrahdale
 6 Paterson Street
 MUNDIJONG WA 6320

ATTENTION: KERRY HEGNEY

CUSTOMER FOCUS

SHIRE OF SERPENTINE-JARRADALE

14 APR 1997

SC	<input type="checkbox"/>	SP	<input type="checkbox"/>
ASC	<input type="checkbox"/>	EO	<input type="checkbox"/>
MPS	<input type="checkbox"/>	RNGR	<input type="checkbox"/>
MTS	<input type="checkbox"/>	RATES	<input type="checkbox"/>
PBS	<input checked="" type="checkbox"/>	ACCTS	<input type="checkbox"/>
PEHO	<input type="checkbox"/>		<input type="checkbox"/>

FILE

Dear Sir

PROPOSED HOUSE CONSTRUCTION, LOT 101 MUNDIJONG ROAD, PEEL ESTATE, PLUNKET HOMES

Main Roads has received a request from Plunket Homes, copy attached, to comment on the location of the above home on Lot 101.

The proposed location of the house appears to be within the existing Metropolitan Region Scheme (MRS) reservation for the future Peel Highway, now referred to as Mundijong Road.

However, Main Roads in consultation with the Ministry for Planning has undertaken a planning study to redefine this route. This proposal allows for the widening of the existing road reservation as shown on the attached extract of Main Roads Drawings Nos 9721-008 and 009.

These plans have been submitted to the Ministry for Planning for inclusion in the next South East Omnibus MRS Amendment.

If this Amendment is adopted by the relevant authorities then the proposed location of the house is acceptable.

Yours faithfully

B A Clarke
 EXECUTIVE DIRECTOR ROAD AND TRAFFIC PROGRAMS

Per 
 April 11 1997

COUNCIL COPY

Recipient of Australian Quality Awards 1996 Achievement in Business Excellence



10.18 attachment 1
MAIN ROADS *PBS*
Western Australia
Don Aitken Centre
Waterloo Crescent
East Perth WA 6004

FACSIMILE TRANSMISSION

Reply please transmit to facsimile number (09).....
Please use (09) 323 4430 when no number is indicated.)

TO: Mrs Jenny Bunter
Care of Serpentine / Jarratdale

FROM: Peter O'houghlin

FACSIMILE NUMBER:

TELEPHONE NUMBER: 323-4429

NUMBER OF PAGES: 2
(including this one)

DATE: 11 / 4 / 97

YOUR REFERENCE:

OUR REFERENCE:

SUBJECT: Lot 101 Mundijong Road Peel Estate

MESSAGE:
Copy of letter to Council regarding proposed house
on above lot.

Original in mail.

SIGNATURE: *John O'oughlin*

WARNING
Facsimiles on thermal paper will deteriorate quickly. Important documents
should be photocopied if they need to be kept for any period of time.

8 - attachment 1

MAIN ROADS
Western Australia

Don Aitken Centre
Waterloo Crescent
East Perth WA 6004

Enquiries: Mr P O'Loughlin on 323 4429

Our Ref: 41-2027-4 00000893.MEP

Your Ref:



Chief Executive Officer
Shire of Serpentine-Jarrahdale
6 Paterson Street
MUNDIJONG WA 6320

ATTENTION: KERRY HEGNEY

Dear Sir

PROPOSED HOUSE CONSTRUCTION, LOT 101 MUNDIJONG ROAD, PEEL ESTATE, PLUNKET HOMES

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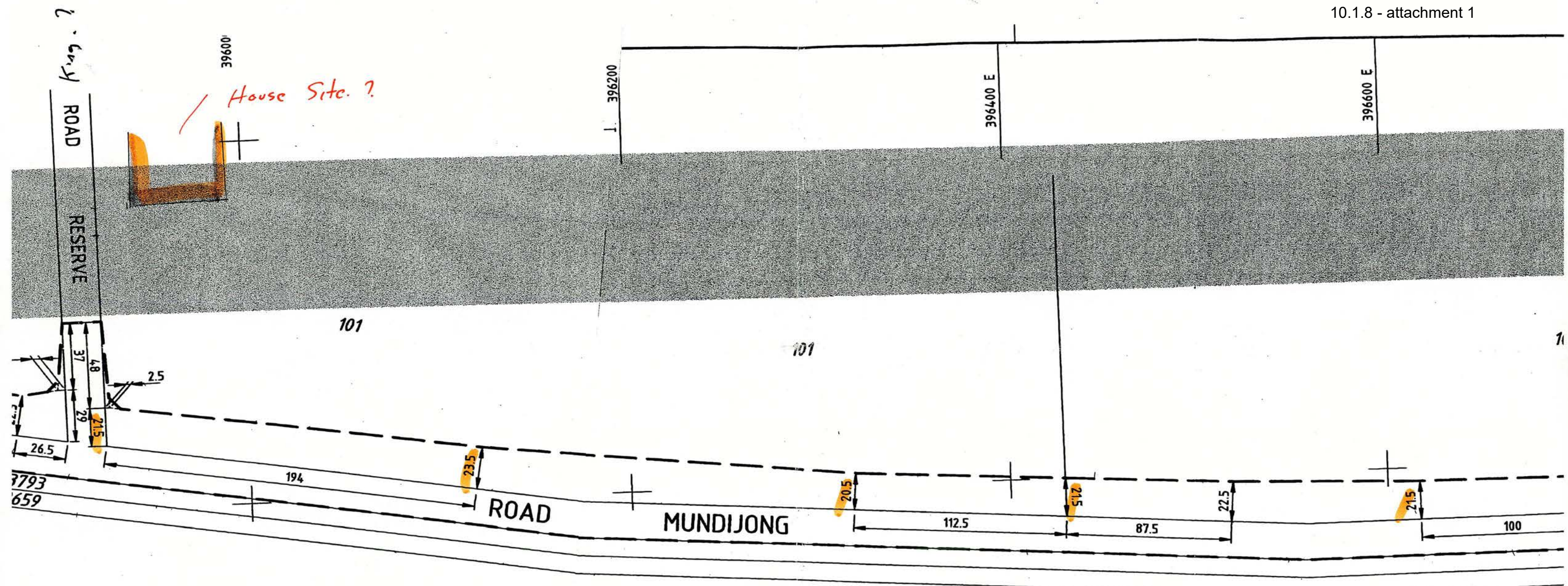
Yours faithfully

B A Clarke
EXECUTIVE DIRECTOR ROAD AND TRAFFIC PROGRAMS

Per

April 11 1997

Recipient of Australian Quality Awards 1996 Achievement in Business Excellence



MAIN ROADS WESTERN AUSTRALIA
 THE LAND REQUIREMENT SHOWN IN THIS DRAWING MAY NOT REPRESENT THE EXISTING M.R.S. RESERVATION
 EXTRACT M.R.W.A. DRG. No. 9721-008 + 009
 SCALE 1:2000 DIMENSIONS SUBJECT TO SURVEY
 FILE DATE 26/3/97

COUNCIL COPY

THE APPROVED SIGNATURE THIS DRAWING SHALL BE TREATED AS PRELIMINARY			
ED IN FULL	DATE	SIGNATURES	DATE
	DEC '96	AUTHORIZED <i>[Signature]</i>	21/12
DRIES	DEC '96		

COUNCIL COPY

KH:jb:BA60-97

Mr K Hegney

Ms J Terrell
2 Rodinga Close
Rossmoyne WA 6148

Dear Ms Terrell,

RE: **BUILDING APPLICATION**
LOT 101 MUNDIJONG ROAD, MUNDIJONG

We wish to advise that we have contacted your Builder and advised them that your Building Licence has been issued.

We attach herewith the Conditions of Building Licence for your information. Should you have any further queries on the Conditions of Building Licence please contact your Builder.

Yours faithfully,

KERRY HEGNEY
PRINCIPAL BUILDING SURVEYOR

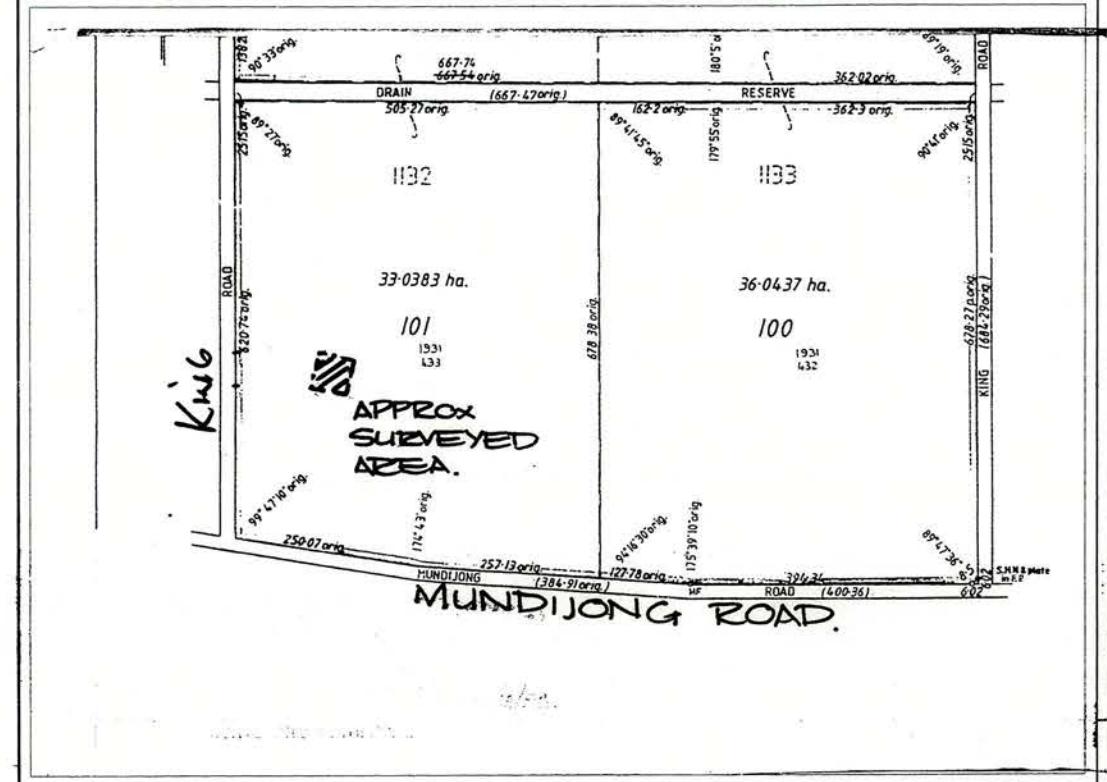
Enc:

14 April 1997

LOT 101

PLUNKETT
Future builders.
A Division Of Westcourt Ltd.
915 Albany Highway East Victoria Park 6101
Phone: 362 5555
Fax: 361 1577

CLIENT: 10.1.8 - attachment
Terrell
CONTRACT / JOB NO. **7025**
MAP REF. 141 31/54
SITE SURVEY **COASTAL**
NO
LOT 101
Mundijong Road
Suburb Peel Estate
Loc. Auth. SERPENTINE-JARRAHDALE
Diag. 82617 Volume 1931 Folio 433
Location Peel Estate Lot 1132



AMENDED

Note run in.

Elec.	≡⊙≡	O/head	Water	Yes	Sewer	Nil
Gas	No	Phone		Yes	Footpath	Nil
Road	Bitumen	Kerb	Nil	Drainage	Poor	

AMENDED PLAN
COUNCIL COPY

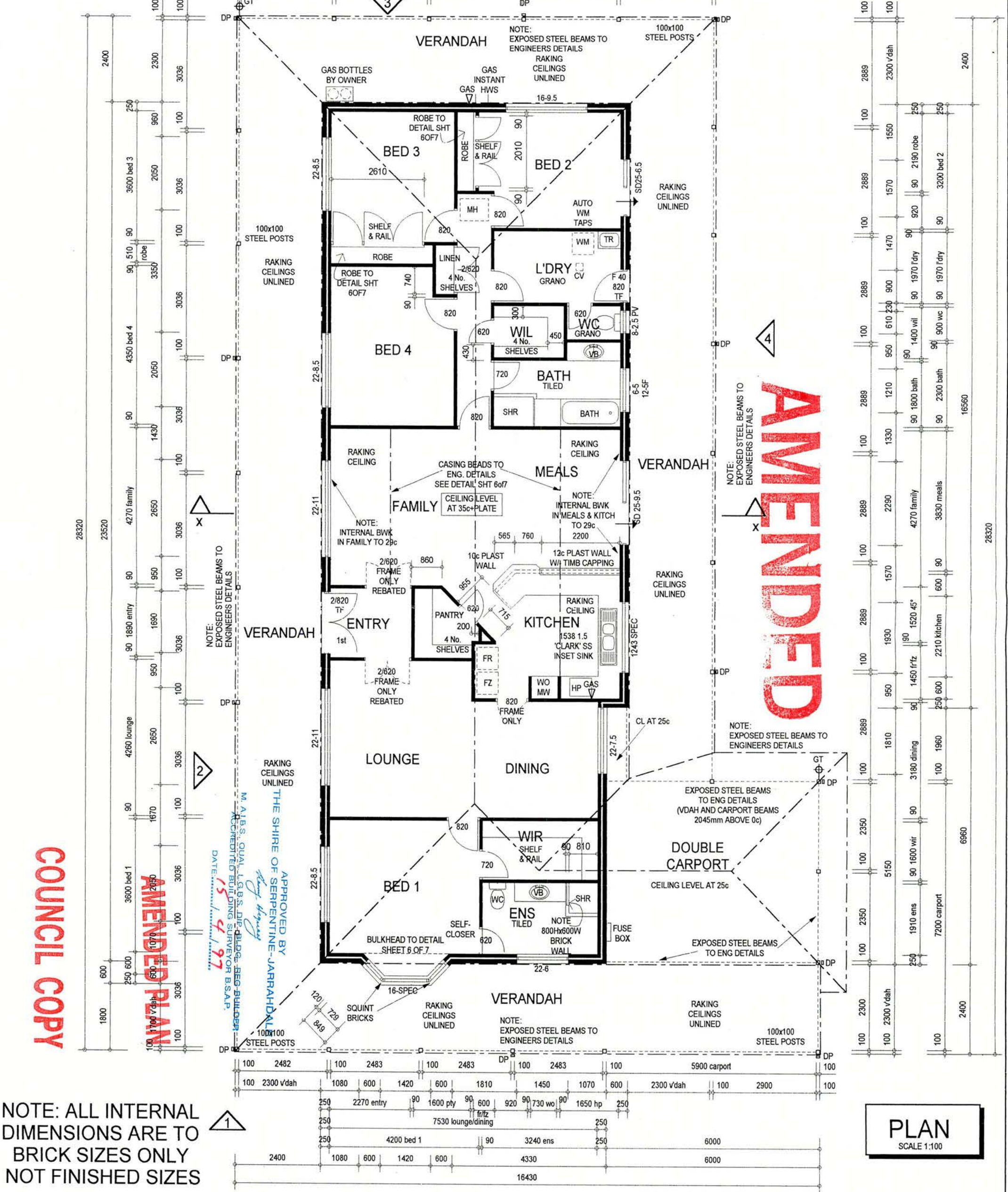
NOTE: EARTHWORKS / SET-OUT DIMENSIONS MAY VARY ON SITE AT BUILDERS DISCRETION. SEWER / DRAINAGE MAY VARY FROM SCHEMATIC PRESENTATION / CHECK MINIMUM CLEARANCES. RETAINING WALLS / FENCES / BOUNDARY PEGS OR FENCES. CHECK TITLE FOR EASEMENTS / COVENANTS ETC. THIS SURVEY DOES NOT GUARANTEE THE LOCATION OF BOUNDARY PEGS OR FENCES.

NOTE

CLIENT TO SUPPLY WALL
TILES TO KITCHEN
BUILDER TO LAY

10.1.8 attachment 1

AREA	200.01 m ²
CARPORT	44.49 m ²
VERANDAH	158.08 m ²
TOTAL	402.52 m ²
PERIMETER	64.79 m



NOTE: ALL INTERNAL DIMENSIONS ARE TO BRICK SIZES ONLY NOT FINISHED SIZES

PLAN
SCALE 1:100

PLUNKETT
Future builders.
PLUNKETT HOMES A DIVISION OF WESTCOURT LTD
915 ALBANY HIGHWAY EAST VICTORIA PARK 6101
PHONE 3625555 FAX 3611577
REG 7995 C COPYRIGHT

SPECIAL

SERIES :
PLAN No.

CLIENT: TERRELL

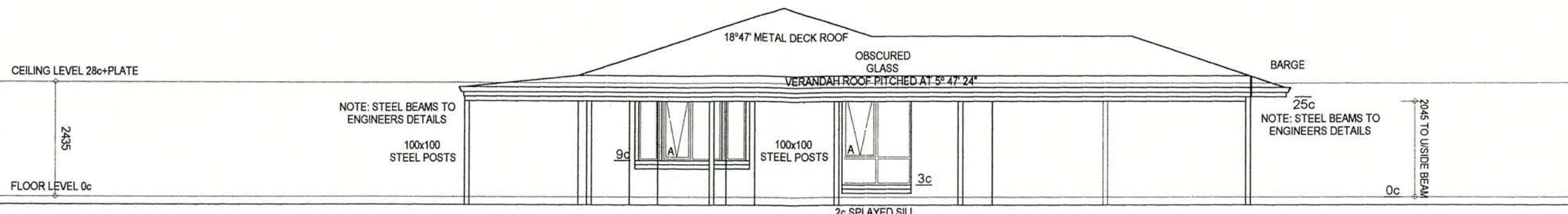
LOT: 101 MUNDIJONG RD
PEEL ESTATE

DRAWN: NGB DATE: 6/2/97 SHEET: 20F7

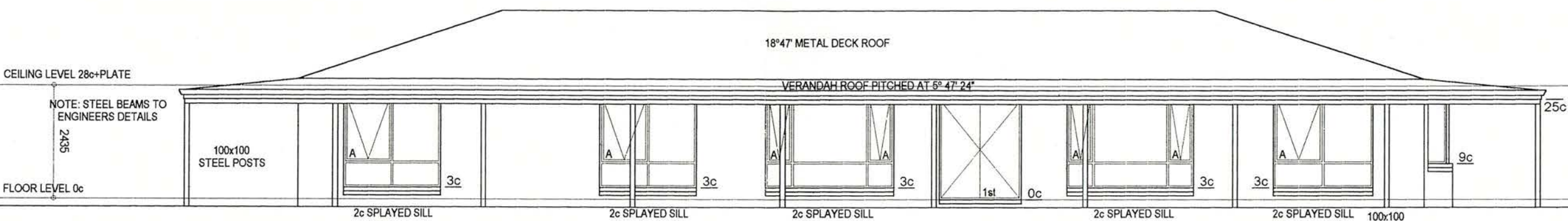
REVISIONS:
- 12035, 12415, 12906, 12907
10/04/97

JOB No. 7025

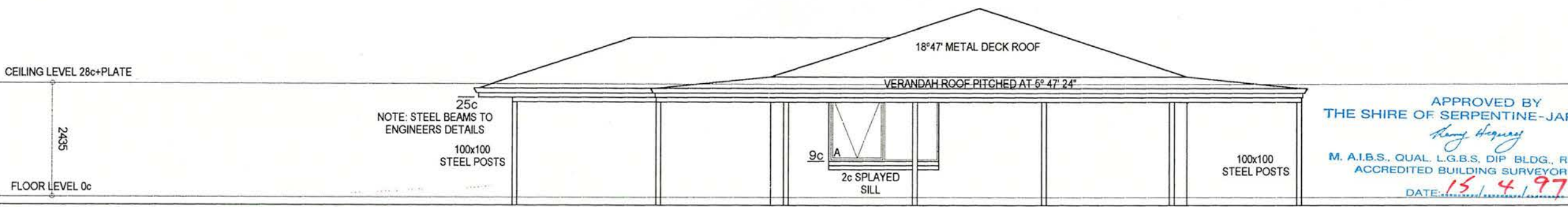
PLUNKETT HOMES A DIVISION OF WESTCOURT LTD
 915 ALBANY HIGHWAY EAST VICTORIA PARK 6101
 PHONE 3625555 FAX 3611577
 REG 7895 C COPYRIGHT



ELEVATION 1



ELEVATION 2

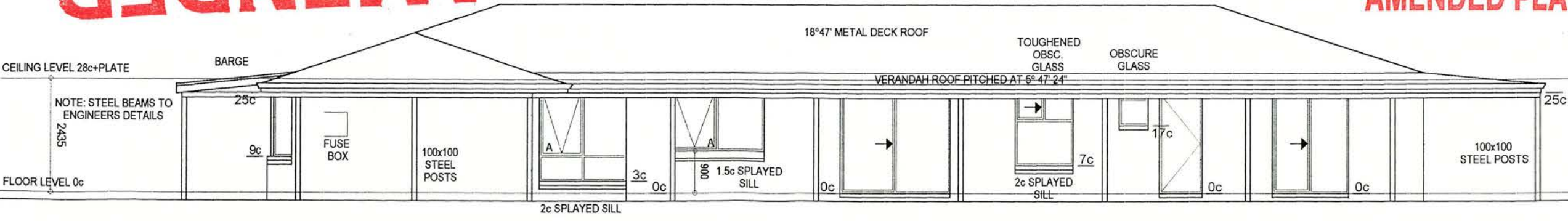


ELEVATION 3

APPROVED BY
 THE SHIRE OF SERPENTINE-JARRAHDALE
Randy Hoquey
 M. A.I.B.S., QUAL. L.G.B.S., DIP. BLDG., REG. BUILDER
 ACCREDITED BUILDING SURVEYOR B.S.A.P.
 DATE: 15.4.97

AMENDED

AMENDED PLAN



ELEVATION 4

COUNCIL COPY

ELEVATIONS
 SCALE 1:100

PLAN NO. :
 SERIES :
 CLIENT: TERRELL
 LOT: 101 MUNDIJONG RD
 PEEL ESTATE
 DRAWN: NGB
 DATE: 6/2/97
 SHEET: 3 of 7
 JOB NO. 7025
 REVISIONS:
 - 12035, 12415, 12906, 12907
 10/04/97

BUILDING AND CONSTRUCTION INDUSTRY TRAINING FUND AND LEVY COLLECTION ACT 1990

208125

LEVY PAYMENT FORM (see reverse (i))

As the project owner in respect of construction work, I hereby declare that the following are the particulars of the work to which payment relates:-

Situation: Lot No: 101 House No: Street: MUNDIJONG ROAD Suburb/Town: MUNDIJONG P/Code: Council/City: SERPENTINE - JARRAHDALE

Project Owner (builder's name if applicable) (see reverse (ii)): PLUNKETT HOMES

Builders Registration Board No. 7995

Address: 915 ALBAM HWY EAST VIC PARK P/Code 6101

Description of Construction Work (see reverse (iii)): BRICK & METAL DECK

SECTOR CLASSIFICATION (see reverse (iv))

Tick Appropriate Box

HOUSING [checked] COMMERCIAL [] ENGINEERING CONSTR. []

PAYMENT OF LEVY (see reverse (v)) (Only payable where estimated value of work exceeds \$10,000)

Expected Date of (A) Commencement: 2/97 (B) Completion: 6/97 (see reverse (vi))

Value of Construction Work \$127,071.00 x 0.2% = LEVY PAYABLE (enclose cheque) \$254.14 (see reverse (viii))

ADJUSTMENT OF LEVY PAID (see reverse (vii))

Completion date of construction work: Previous Levy Form No:

Amount of Variation \$ x 0.2% = LEVY PAYABLE (enclose cheque) \$ (see reverse (viii))

Contact Person: JARUN LEWIS Phone: 362 5555

Signature: [Signature] Date: 12/2/97

BCITF OFFICE USE ONLY LEVY PAID: \$ Cheque No. Date Adjustment/Levy

(See reverse for procedure when making payment)

- (i) THIS FORM IS TO BE USED FOR INITIAL LEVY PAYMENT AND FOR ADJUSTMENTS WHERE AN ADDITIONAL LEVY IS PAYABLE
- (ii) "Project owner" in respect of any construction work means -
 - (a) the person who is required to hold a building licence in respect of that construction work;
 - (b) where the construction work is carried out by the State, or an agent or instrumentality of the State, the person or organisation designated in writing by the Minister to be the project owner or, if the State or an agent or instrumentality of the State has engaged another person or body, other than as an employee, to carry out or cause to be carried out all of the construction work, the person or body so engaged ; or
 - (c) where paragraphs (a) and (b) do not apply -
 - (i) the person or body for whose direct benefit construction work exists upon its completion; or
 - (ii) if the person or body referred to in subparagraph (i) has engaged another person or body, other than as an employee, to carry out or cause to be carried out all of the construction work, the person or body so engaged.
- (iii) "Construction work" means all of the work carried out in the State (or as referred to in Section 5 of the BCITF Act 1990) -
 - (a) that is included in the definition of "construction industry" in the *Construction Industry Portable Paid Long Service Leave Act 1985*; or
 - (b) that comes within the description of work in section 374 or 374A of the *Local Government Act 1960*, but does not include any work that is prescribed as excluded from this definition.
- (iv) "Sectors", in relation to the building and construction industry, means the following sectors of that industry -
 - (a) the housing sector;
 - (b) the commercial sector;
 - (c) the engineering construction sector; and

For further details refer to Fund brochure.

- (v) Payment of levy (where estimated cost of building or construction work exceeds \$10,000)
Every project owner shall -
 - (a) before commencing any construction work for which a building licence is required, pay to a collection agency or the Board, the levy in respect of that construction work based on the value of the construction work estimated (local government is required to sight evidence that the levy has been paid prior to issue of the building licence);
 - (b) before commencing any construction work for which a building licence is not required -
 - (i) notify the Board of the construction work and the value of the construction work estimated; and
 - (ii) pay to the Board the levy in respect of that construction work based on the value of that work as notified to the Board; and
 - (c) where, on the completion of construction work, the value of the construction work varies by an additional amount of \$25,000 or more (after adjustment has been made for inflation) from the value of that work as estimated for the purposes of paragraph (a) or (b), notify the Board of that variation.
- (vi) Construction work shall be regarded as commencing -
 - (a) where construction work commences on site [refer local government requirement as per (v)(a)].
 - (b) if paragraph (a) does not apply -
 - (i) where the construction work is to be carried out under a contract executed before the Act comes into operation; and
 - (ii) the project owner, after this Act comes into operation, engages another person or body, other than as an employee, to carry out or cause to be carried out any part or stage of that work,
 when any of the construction work that the person or body is engaged to carry out or cause to be carried out commences on site.
 - (c) If paragraph (a), or (b) does not apply, when the construction work is commenced on site.
Notwithstanding the above, a levy is not payable in relation to construction work for which a building licence had been issued before this Act came into operation.

Penalty for late payment

Where construction work is commenced before the project owner has paid the levy due in respect of that work, the project owner is liable to pay to the Board, by way of penalty, an amount calculated from the time the construction work commenced at a prescribed rate per annum on the unpaid levy.

- (vii) **Adjustment of amount paid after completion of construction work (where variation increases the value of construction work)**
Where on the completion of construction work the Board is satisfied that the value of construction work varies by \$25,000 or more (after adjustment has been made for inflation) from the value of that work as estimated for the purposes of (vi) above, the project owner shall pay to the Board or to a collection agency, an amount equal to the extra amount that would have been payable if the estimated value of the construction work had been the actual value of that work, where the value of the construction work was under estimated.

(Where variation reduces the value of construction work or the work is cancelled, Refund Claim Form (Form 2) is available)

- (viii) **QUICK LEVY CALCULATOR** (multiply value by .002)

Note: Only payable on amounts exceeding \$10,000

2% on \$	1	2	3	4	5	6	7	8	9	10	20	30	40	50	60	70	80	90
Amount Payable	0.00	0.00	0.01	0.01	0.01	0.01	0.01	0.02	0.02	0.02	0.04	0.06	0.08	0.10	0.12	0.14	0.16	0.18

2% on \$	100	200	300	400	500	600	700	800	900	1,000	2,000	3,000	4,000	5,000	6,000	7,000	8,000	9,000
Amount Payable	0.20	0.40	0.60	0.80	1.00	1.20	1.40	1.50	1.80	2.00	4.00	6.00	8.00	10.00	12.00	14.00	15.00	18.00

2% on \$	10,000	20,000	30,000	40,000	50,000	60,000	70,000	80,000	90,000	100,000
Amount Payable	20.00	40.00	60.00	80.00	100.00	120.00	140.00	160.00	180.00	200.00

2% on \$	100,000	200,000	300,000	400,000	500,000	600,000	700,000	800,000	900,000	1,000,000
Amount Payable	200.00	400.00	600.00	800.00	1,000.00	1,200.00	1,400.00	1,600.00	1,800.00	2,000.00

PAYMENTS MAY BE MADE TO: (Provide all three copies when making payment)

- Local Government Offices
- Building and Construction Industry Training Fund
P.O. Box 746
JOLIMONT WA 6014
Phone: (09) 381 0308 Fax: (09) 388 8902

STREET ADDRESS

- 1st Floor
National Mutual Building (Home Base)
55 Salvado Road
WEMBLEY WA 6014

31702 20/02/97 13:05 Cheque 698.89
SHIRE OF SERPENTINE-JARRAHDALE

31702 20/02/97 13:05 Cheque 698.89
SHIRE OF SERPENTINE-JARRAHDALE

OFFICIAL RECEIPT CASH/CHEQUE

Must bear imprint of cash register to be valid. N.D. Fimmano, Shire Clerk

SHIRE OF SERPENTINE-JARRAHDALE

PATERSON STREET, MUNDIJONG, 6202
TELEPHONE (09) 525 5255



20-2 97
.....19.....

WESTCOURT Limited

PARTICULARS

Lot <u>61</u> No. Street <u>MUNDIJONG RD</u>		
Locality <u>MUNDIJONG</u>		
Building Application Fee <u>BA60/97</u> 3756-213	444	75
BCITF <u>208125</u> 8502-1522	254	14
Security Deposit 13800-1525		
Demolition Licences 3757-214		
Planning Applications 1769-461		
Other:		
Ordinary Council Meeting - 14 December 2020		
DO NOT DETACH	E. & O.E.	698.89

SHIRE OF SERPENTINE- JARRAHDALE

6 Paterson Street, MUNDIJONG 6202

Telephone: (09) 525 5255 Facsimile: (09) 525 5441

OFFICE HOURS: Monday to Friday, 8.30am-4.30pm

10.1.8 - attachment 1



BUILDING LICENCE

LICENCE No./BA No. 0060.

GRANTED TO Plunkett Homes

ADDRESS 915 Albany Hwy East Victoria Park WA. 6101.

Authorising the construction of Brick + Iron Residence Valued at \$ 127071.00 on

House No Lot 101 in Mundijong (St/Rd/etc) Mundijong (Suburb)

in accordance with the Plans and Specifications approved by the Surveyor and subject to the provisions of the Building By-Laws made under the Local Government Act 1960, the Health Act 1911-1960 and the Amendments.

This Licence shall be void if the work covered by this Licence (of the Building) is not substantially commenced within one year of the date of the issue of this Licence.

The approved Plans and Specifications must be retained on the job for inspection by the Surveyor

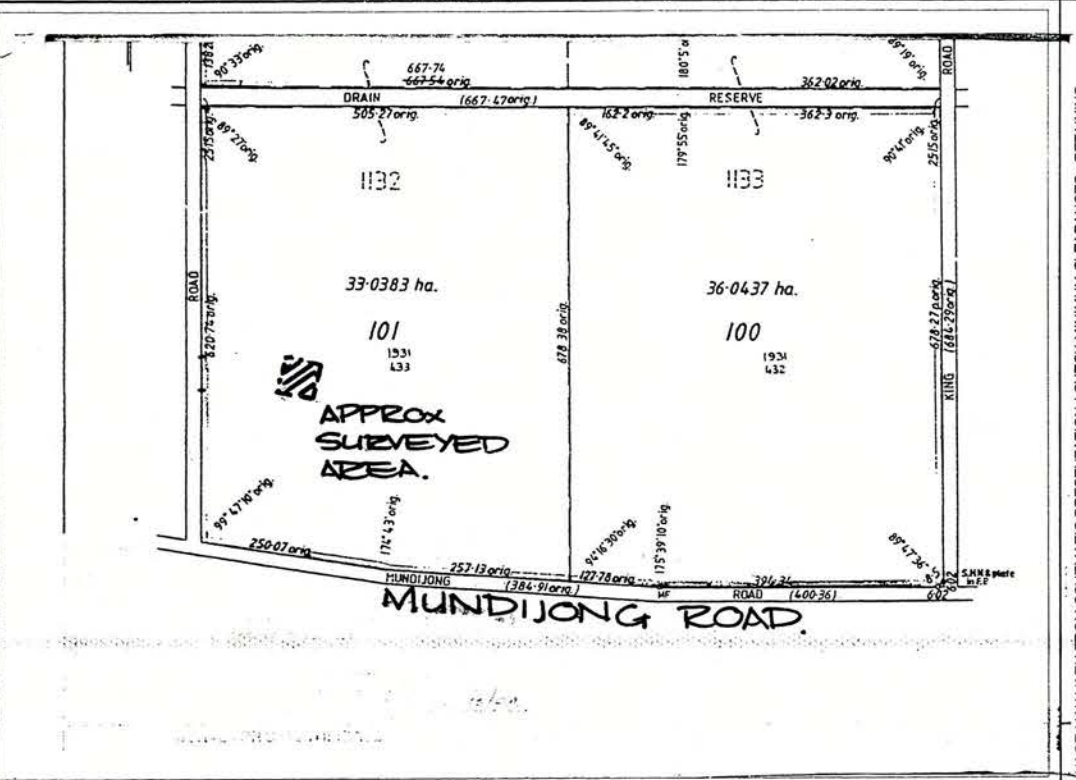
Ordinary Council Meeting - 14 December 2020

Date 14 April 1997

Building Surveyor Henry Hegarty

PLUNKETT
 Future builders.
 A Division Of Westcourt Ltd.
 915 Albany Highway Phone: 362 5555
 East Victoria Park 6101 Fax: 361 1577

CLIENT: **Terrell** 10.1.8 - attached
 CONTRACT / JOB NO. **7025**
 MAP REF. 141 31/54
 SITE SURVEY **LOT 101**
 COASTAL NO
 Mundijong Road
 Suburb Peel Estate
 Loc. Auth. SERPENTINE-JARRAHDALE
 Diag. 82617 Volume 1931 Folio 433
 Location Peel Estate Lot 1132



Note Run in.

Elec. $\equiv \odot \equiv$ Overhead	Water	Yes	Sewer	Nil
Gas No	Phone ☎	Yes	Footpath	Nil
Road Bitumen	Kerb	Nil	Drainage	Poor

KERRY HEGNEY
 PRINCIPAL BUILDING SURVEYOR
K.H.

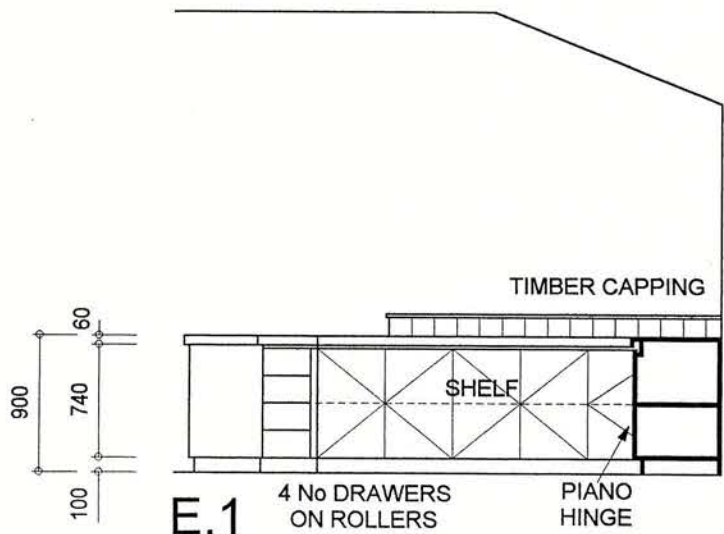
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COTTAGE & ENGINEERING SURVEYS
 Licensed Surveyors
 WA 219 ONSLOW ROAD, SHENTON PARK, 6008 Ph 381 6211 Fax 382 2503
 QLD Unit 14, 8 DENNIS ROAD, SPRINGWOOD, 4127 Ph 808 7244 Fax 808 7349
 Ordinary Council Meeting - 14 December 2020

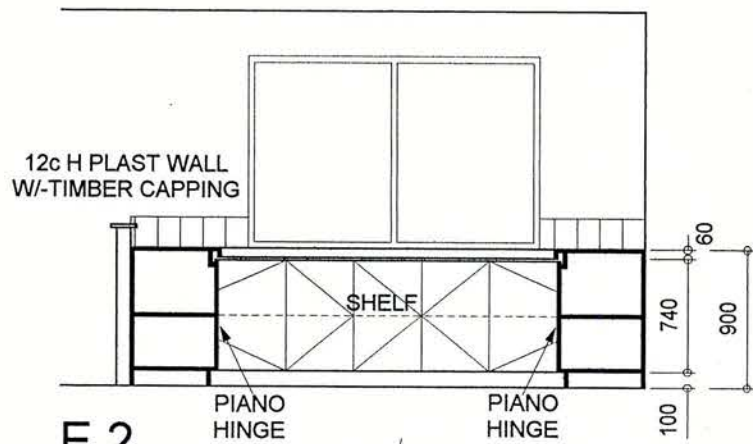
NOTE : EARTHWORKS / SET-OUT DIMENSIONS MAY VARY ON SITE AT BUILDERS DISCRETION. SEWER / DRAINAGE MAY VARY FROM SCHEMATIC PRESENTATION / CHECK MINIMUM CLEARANCES. RETAINING CHECK TITLE FOR EASEMENTS / COVENANTS ETC. THIS SURVEY DOES NOT GUARANTEE THE LOCATION OF BOUNDARY PEGS OR FENCES.

CUTOUT SIZES

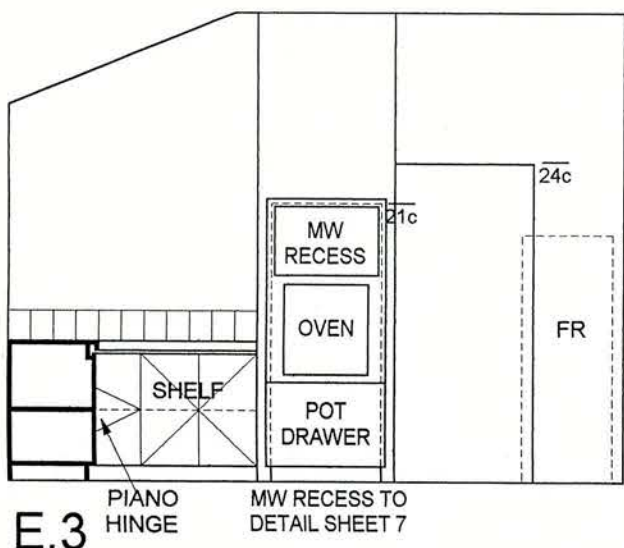
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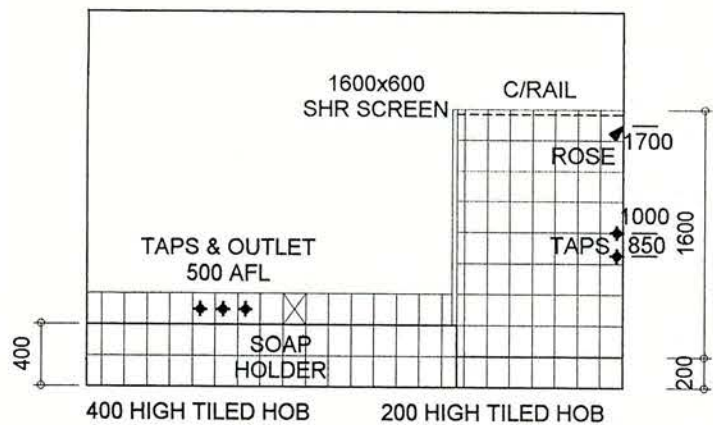
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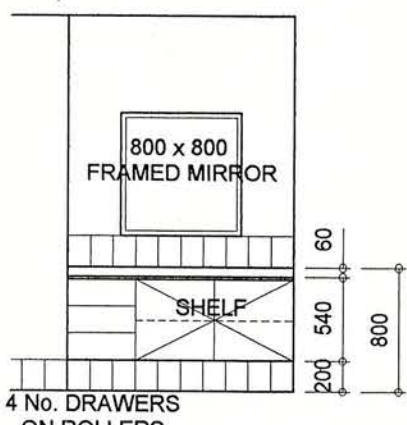
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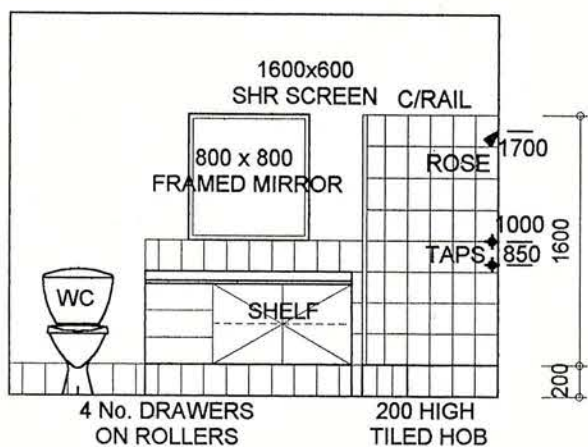
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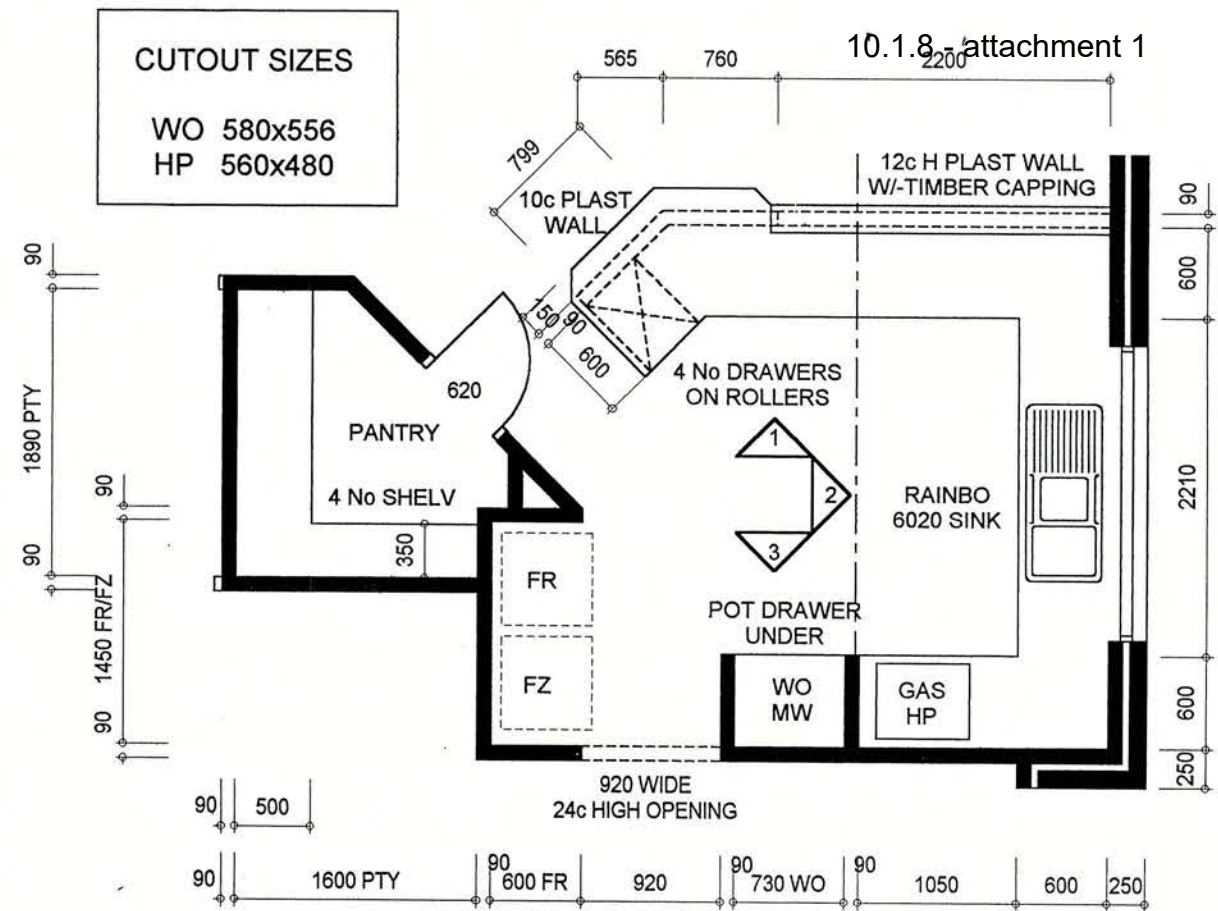
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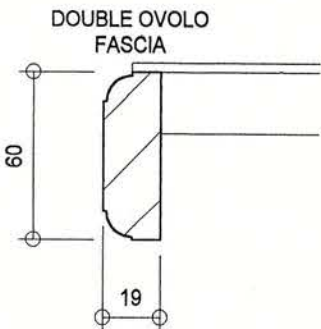
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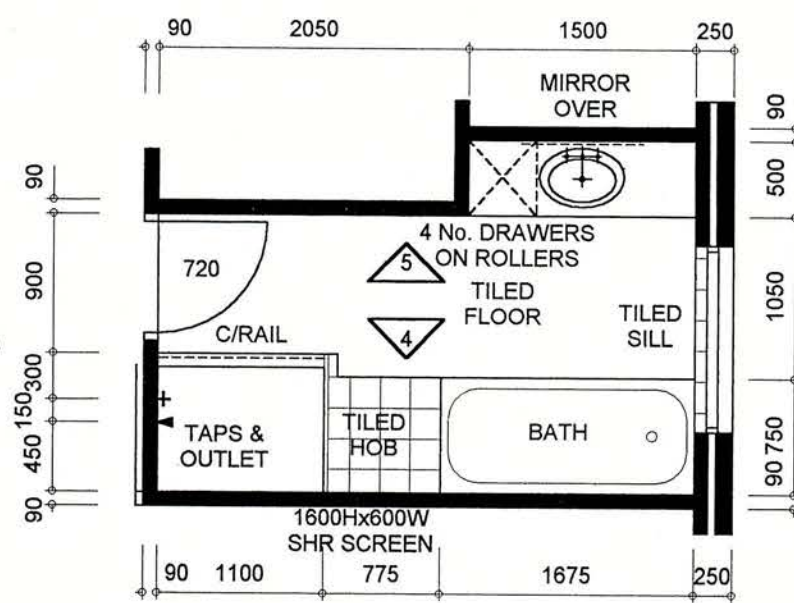
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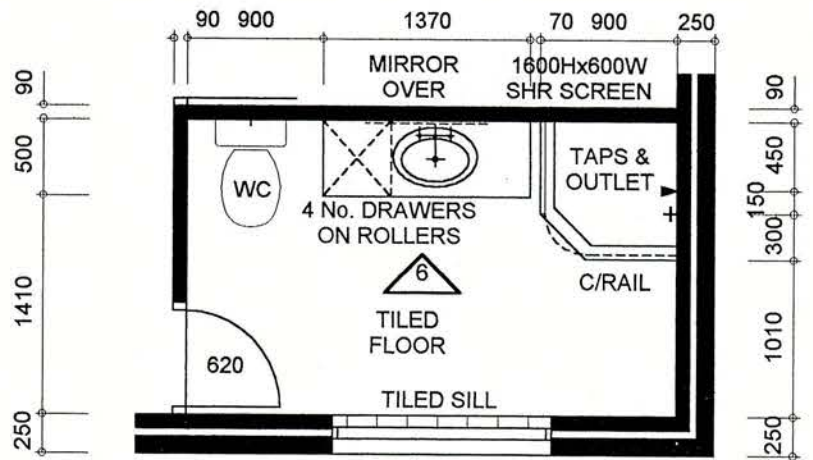
KITCHEN



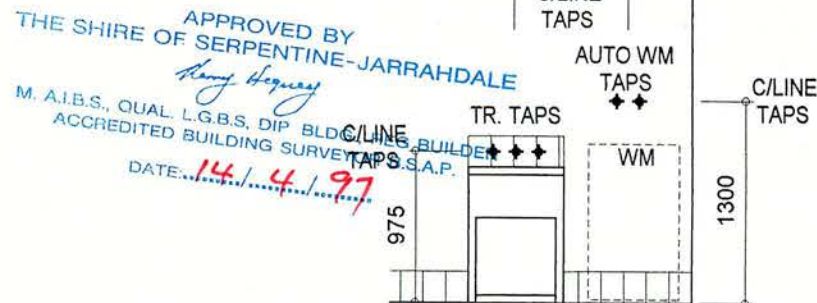
KITCHEN FASCIA
DETAIL



BATH



ENS



LAUNDRY ELEVATION

APPROVED BY
THE SHIRE OF SERPENTINE-JARRAHDALE
Henry Hoagney
M. A.I.B.S., QUAL. L.G.B.S. DIP. BLDG. SURV.
ACCREDITED BUILDING SURVEYOR S.A.P.
DATE: 14.4.97

INTERNALS

PLUNKETT

Future builders.

PLUNKETT HOMES A DIVISION OF WESTCOURT LTD
915 ALBANY HIGHWAY EAST VICTORIA PARK 6101
PHONE 3625555 FAX 3611577
REG 7995 C COPYRIGHT

SPECIAL

SERIES:

PLAN No.

CLIENT: TERRELL

LOT: 101 MUNDIJONG RD
PEEL ESTATE

REVISIONS:

DRAWN: NGB

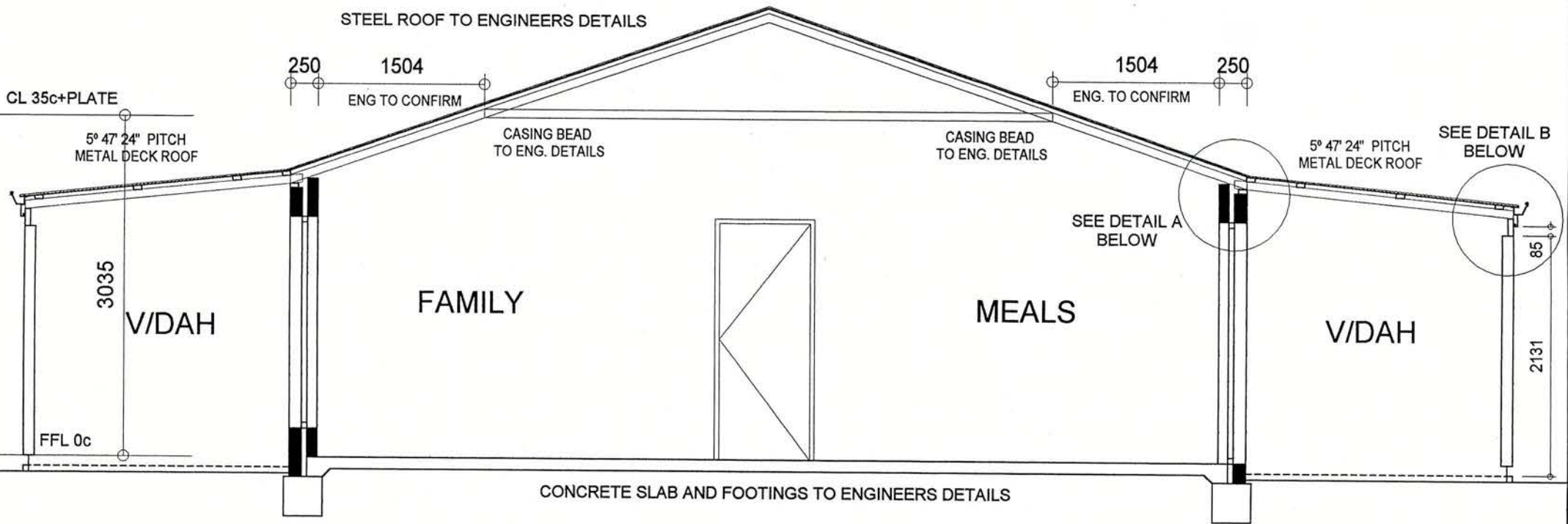
DATE: 6/2/97

SHEET: 4 of 7

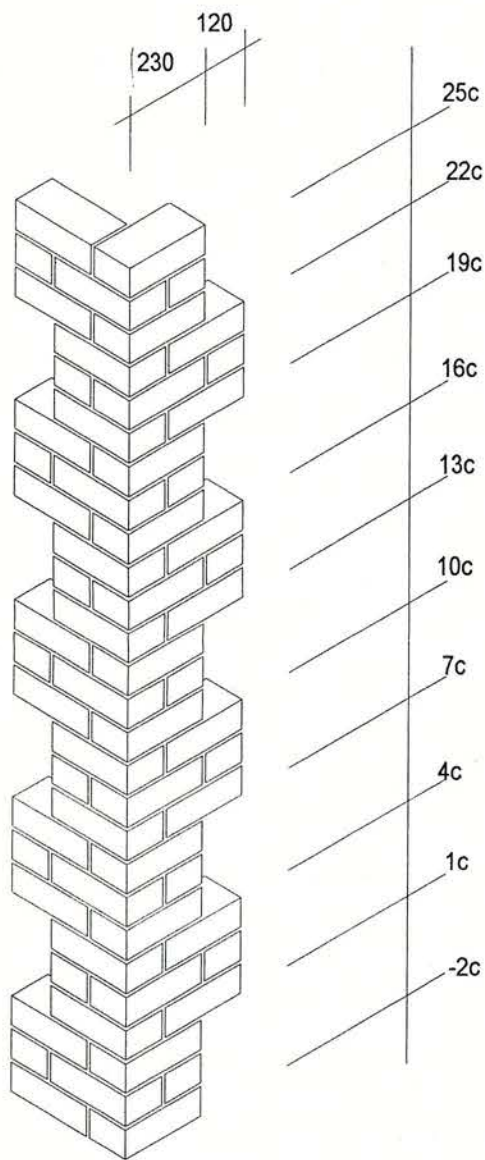
JOB No. 7025

COUNCIL COPY

STEEL ROOF TO ENGINEERS DETAILS



SECTION A1

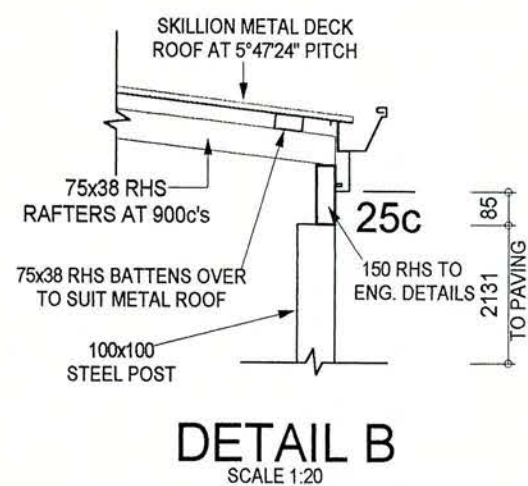
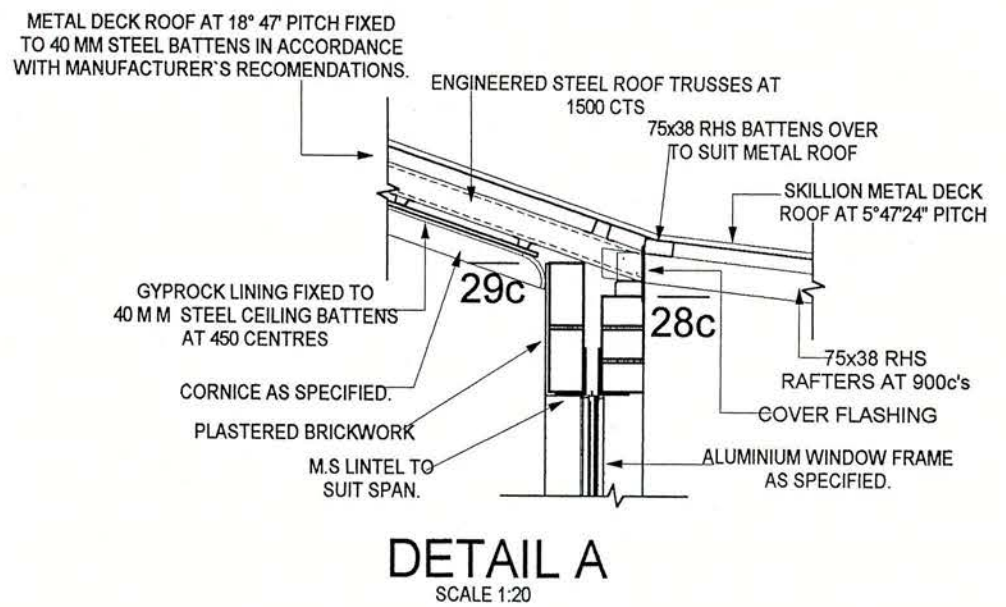
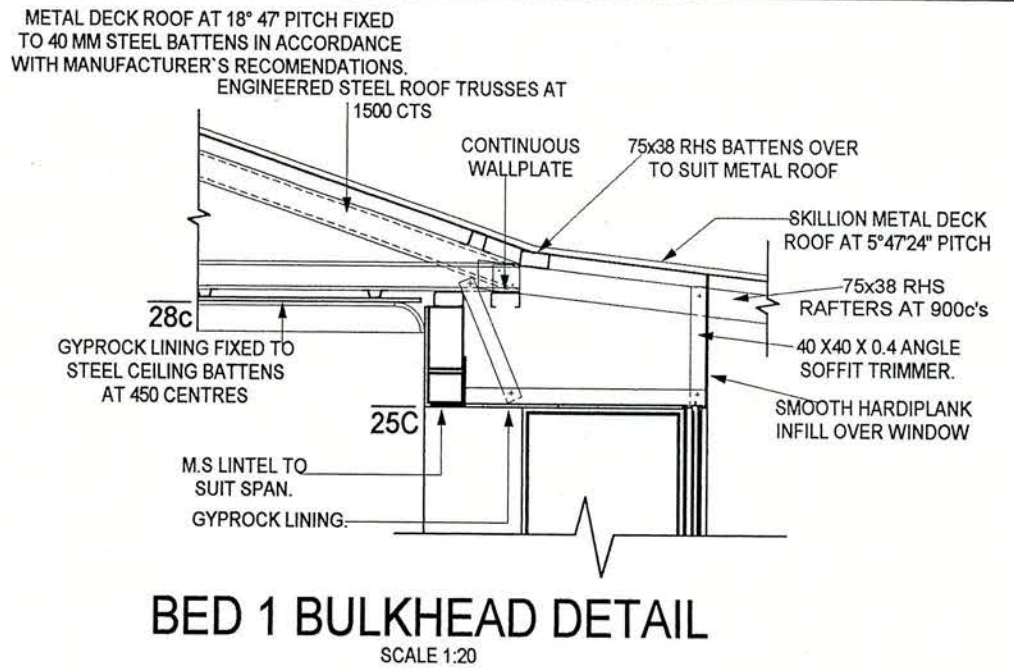


BRICK QUOINING

DETAIL
SCALE 1:20

DETAILS50
SCALE 1:50

APPROVED BY
THE SHIRE OF SERPENTINE-JARRAHDALE
Henry Hooper
M. A.I.B.S., QUAL. L.G.B.S. DIP. BLDG., REG. BUILDER
ACCREDITED BUILDING SURVEYOR B.S.A.P.
DATE: 14/4/97



Future builders.
PLUNKETT HOMES A DIVISION OF WESTCOURT LTD
915 ALBANY HIGHWAY EAST VICTORIA PARK 6101
PHONE 3625555 FAX 3611577
REG 7995 C COPYRIGHT

SPECIAL

SERIES:

PLAN No.

CLIENT: TERRELL

LOT: 101 MUNDIJONG RD
PEEL ESTATE

REVISIONS:

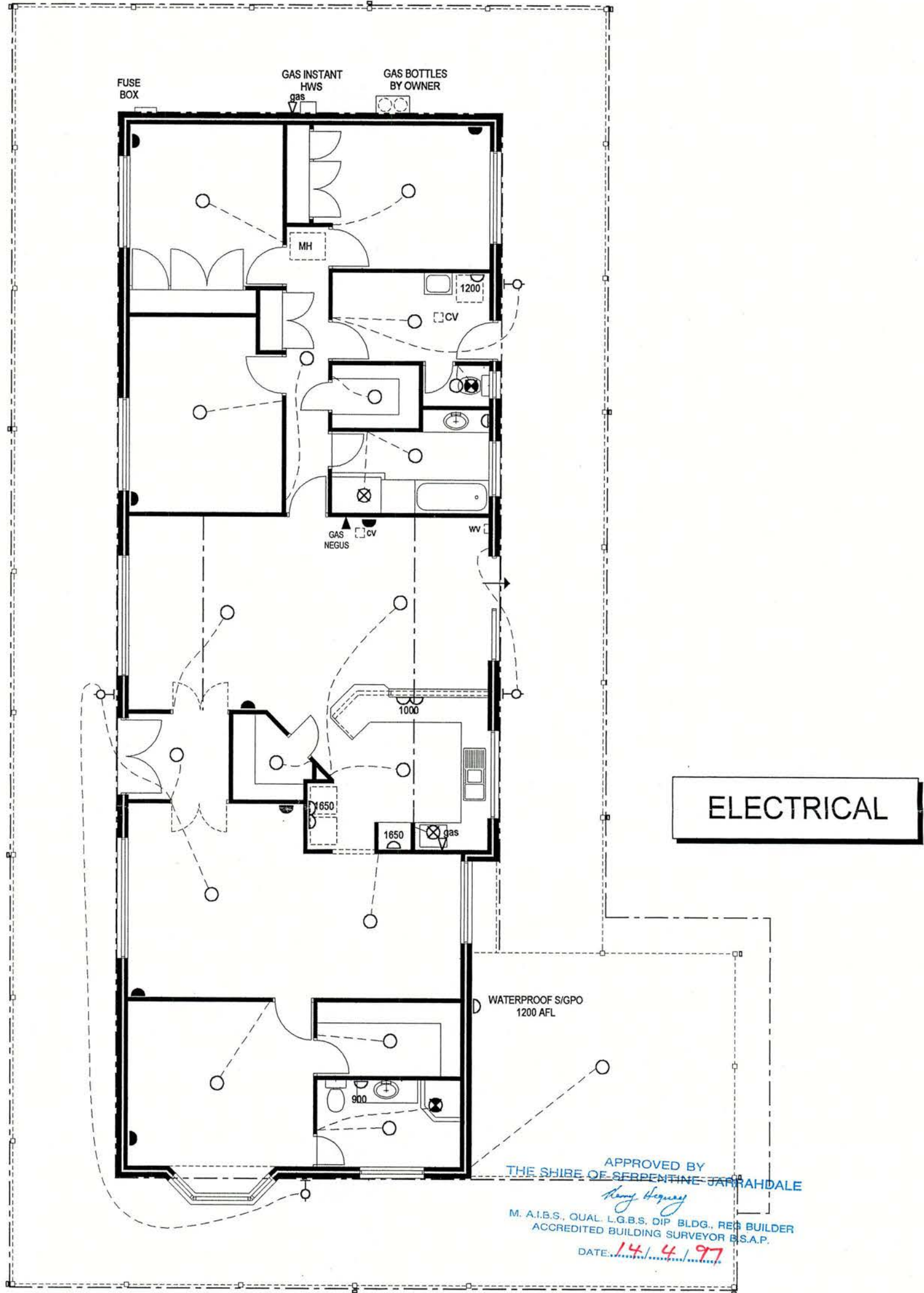
COUNCIL COPY

DRAWN: NGB

DATE: 6/2/97

SHEET: 6 of 7

JOB No. 7025



ELECTRICAL

APPROVED BY
 THE SHIRE OF SERPENTINE-JARRAHDALE
Rory Hooper
 M. A.I.B.S., QUAL. L.G.B.S. DIP. BLDG. RES. BUILDER
 ACCREDITED BUILDING SURVEYOR B.S.A.P.
 DATE: 14/4/97

⊖	WALL LIGHT	4	⬆	SINGLE GPO 200 ABOVE FL.	8	⬇ ^{gas}	GAS NEGUS POINT	1
○	CEILING LIGHT	19	⬆	DOUBLE GPO 200 ABOVE FL.	0	□cv	CEILING VENT	2
⋯	FLUORESCENT LIGHT OUTLET	0	⬆	SINGLE GPO 900 ABOVE FL. (OR AS NOTED)	5	⊥	WALL VENT	1
—	FLUORESCENT LIGHT WITH DIFFUSER	0	⬆	DOUBLE GPO 900 ABOVE FL. (OR AS NOTED)	2	→ PH	PHONE POINT	0
⊗	EXHAUST FAN (FLUMED)	2	⬆	15 AMP SINGLE GPO	0	→ TV	TV POINT	0
⊗	EXHAUST FAN (UNFLUMED)	2	∇ ^{gas}	GAS CONNECTION POINT	3	⊗	COMBINATION HPM FAN-LIGHT (FLUMED)	0

PLUNKETT
 Future builders.
 PLUNKETT HOMES A DIVISION OF WESTCOURT LTD
 915 ALBANY HIGHWAY EAST VICTORIA PARK 6101
 PHONE 3625555 FAX 3611577
 REG 7995 C COPYRIGHT

SPECIAL

SERIES :

PLAN No.

CLIENT: TERRELL

LOT: 101 MUNDIJONG RD
 PEEL ESTATE

DRAWN: NGB DATE: 6/2/97 SHEET: 50F7

REVISIONS:

COUNCIL COPY

JOB No. 7025



Future builders.

915 Albany Highway, East Victoria Park, 6101. Telephone 362 5555.
P.O. Box 379 Victoria Park 6100 Fax 361 1577
Member of the Master Builders' Association of W.A. Reg. No. 7995

12 FEBRUARY 1997

Building Department

Shire of SERPENTINE - JARRAHDAL
6 Paterson Street,
MUNDIJONG 6202

Dear Sir

RE: LOT 101 MUNDIJONG ROAD, MUNDIJONG
B/L NO.

Please be advised that the roof frame for the above-mentioned lot will be steel frame and constructed in accordance with the following Australian Standards,

- * AS.1170.1 Loading Code - Dead and Live
- * AS.4055 Windloads for Housing
- * AS.3623 Domestic metal Framing
- * AS.1538 Coldformed Steel Structure

and as such does not require a termite barrier.

Should you have any queries in regards to this matter please contact the writer at this office.

Yours faithfully

K A Sale
Production Manager

KERRY HEGNEY
PRINCIPAL BUILDING SURVEYOR
KH

COUNCIL COPY

Over 90 years in W.A.

A division of Westcourt Ltd.
A.C.N. 009 250 373

PRELIMINARIES

1. Standard Specification
2. Notices & Fees
3. Provisional Sum
4. Sanitary Accommodation
5. Items
6. Site Obstructions
7. Levels
8. Variations

CLEARING, ETC

9. Clearing
10. Excavation
11. Filling
12. Surplus Earth

DRAINER

13. Generally
14. Sewer Connection
15. Septic Tank Installation
16. Cement V Drains

CONCRETER

17. Garage & Carport Floors
18. Concrete Footings
19. Concrete Raft
20. White Ant Treatment

IRON FOUNDER

21. Corner Window Support

BRICKLAYER

22. Brickwork
23. Mortar
24. Dampcourse
25. Brick Openings
26. Window Sills
27. Cleaning Up
28. Joints

CARPENTER

29. Generally
30. Roof Framing
31. Eaves Facia
32. Lined Eaves
33. Extended Eaves
34. External Hardiflex

JOINER

35. Aluminium Doors & Windows
36. Generally
37. Metal Door Frames
38. Door Buffers
39. Front Door
40. Internal Doors
41. Door Furniture
42. Meter Cabinet

43. Kitchen Cupboards
44. Built-In-Robes
45. Architraves
46. Skirtings
47. Special Trim

ROOFER

48. Roof Tiles

PLUMBER

49. Gutters
50. Downpipes
51. Valleys
52. Flashing

SANITARY PLUMBER

53. Generally
54. Schedule of Equipment
55. Water Supply

PLASTERER

56. Generally

CEILER

57. Ceilings
58. Flume Vents

TILER

59. Generally
60. Tiles Areas
61. Grouting
62. Patterns

ELECTRICIAN

63. Generally

PAINTER

64. Materials
65. Preparation
66. Clear Varnish
67. Stain & Varnish

GLAZIER

68. Clear Glass
69. Obscure Glass
70. Mirrors
71. Glass Shower Screen

COMPLETION

72. Cleaning Up

KERRY HEGNEY
PRINCIPAL BUILDING SURVEYOR
V.A.

SPECIFICATION**PRELIMINARIES****1. STANDARD SPECIFICATION.**

This is a standard specification and therefore covers some clauses which may not be required in this contract.

It is to be read in conjunction with the attached Addenda and accompanying drawings.

2. NOTICES, FEES & BY-LAWS.

The Contractor shall give and receive all notices legally required, pay all fees, obtain all necessary permits and fully comply with the By-Laws and regulations of all properly constituted Authorities having jurisdiction over the works.

However, should the Contractor receive any instruction from any of such Authorities to carry out work which is not included in this specification and accompanying drawings, then the cost of additional work so ordered will be charged to the Owner as laid down in the Memorandum of Agreement.

3. PROVISIONAL SUM.

Where the cost of any portion of the works of this contract cannot be calculated before commencement, a provisional sum to cover these costs shall be included in the specification addenda.

4. SANITARY ACCOMMODATION.

The Contractor is to provide temporary sanitary conveniences for workmen employed on premises, and maintain same in accordance with the requirements of the Local Health Authority.

5. ITEMS.

Items which are indicated on plan as being included 'only if specified' must be incorporated in the Addenda to form part of the Contract.

6. SITE OBSTRUCTIONS.

Should there be any hidden obstructions not visible from surface inspection which affect the construction of the works, then an extra shall be charged for any additional work involved.

7. LEVELS.

The height of the main floor level is to be as specified on the Site Plan, unless varied by any authority having jurisdiction over these works. Any adjustment shall form a variation to the contract.

8. VARIATIONS.

In the interest of speedy completion and elimination of errors, no variations of this contract will be permitted by the Contractor other than those requested by Local Authorities or Government Departments. Additional cost incurred by such variations shall be paid on request and the written acknowledgment returned to the Builder within the specified time.

9. CLEARING.

The areas to be occupied by the building and for a distance of 2 metres all round shall be cleared.

Where trees occur on the area to be occupied by the buildings or in any position dangerous to the buildings, they shall be completely grubbed out.

Similarly clear as necessary for the proper laying of the driveway if specified in the addenda.

10. EXCAVATION.

Excavate for all footings, piers, drains, stumps, etc. as required as shown on drawings and fill in after they are in position. Any retaining walls required will be charged as an extra.

11. FILLING.

All holes formed in the course of the work or in clearing the site of obstructions and all holes occurring within 2 metres of the building, shall be filled with earth and finished level with surrounding surface.

Filling of site for concrete raft to be as required by Local Authority and the Compaction of such fill shall be substantiated by an Engineer's certificate.

12. SURPLUS EARTH.

All surplus earth resulting from any of the foregoing earthworks shall be removed or spread about the site at the discretion of the Builder.

DRAINER**13. GENERALLY**

All sewerage, drainage, sanitary plumbing, water supply, etc. shall be carried out in strict accordance with the By-laws and regulations of the W.A.W.A. and the Local Authority. Costs of complying with such sewerage, drainage, sanitary plumbing and water supply By-laws and regulations are generally included in the contract price except insofar as mentioned in the following clauses.

14. SEWER CONNECTION.

Connect sanitary fixtures with tested pipes, bends, junctions, etc. to the sewer main. The main sewer connection is assumed to be no more than 1.5 metres deep and any additional depth or any additional work in the provision of timber shafts, wet box, keel to the sewer line, pump hire, compaction or removal of rock will be charged as an extra.

15. SEPTIC TANK AND LEACH DRAIN INSTALLATION.

Shall be installed strictly in accordance with the Standard of Public Health Department, and conform to Local Authority requirements.

16. CEMENT V DRAINS.

All rainwater pipes to discharge on to precast spoon drains unless otherwise shown or specified. One to each downpipe.

Any other rainwater disposal instructed by the relevant Authority shall be charged as an extra.

17. GARAGE & CARPORT FLOORS, DRIVEWAYS & PATHS.

Shall consist of 15 MPa mix and poured monolithically and will be to the extend shown on plan.

18. CONCRETE FOOTING TO BRICK UPSTANDS.

These will be to Engineers detail.

Standard Reinforced Concrete Footings - these will be to Builders standard engineers detail.

19. CONCRETE RAFT.

Concrete raft to be constructed as per Builders Standard Two Course Details.

Should footing sizes need to be increased or extra reinforcement required due to the Local Authority or soil conditions, an extra will be charged.

20. WHITE ANT TREATMENT.

Prior to pouring raft, carry out treatment for the eradication of white ants and provide a five year guarantee against future infestation.

IRON FOUNDER

21. CORNER WINDOW SUPPORTS.

Walling over corner windows to be supported on 50mm internal diameter dimet coated pipe columns with 10mm plate at bottom welded to pipe, or to manufacturers specification.

BRICKLAYER

22. BRICKWORK.

The whole of the work indicated on drawings to be of brickwork shall be built in good sound brickwork in accordance with general trade practice.

23. MORTAR.

Will be mixed in accordance with good building practice.

24. DAMPCOURSE.

Provide approved damp course to all brickwork at floor level or otherwise as required.

25. BRICK OPENINGS.

All angle iron shall comply with relative Building By-laws.

26. WINDOW SILLS.

Window sills shall be as shown on plan.

27. CLEANING UP.

Brickwork to be cleaned in an approved manner.

28. JOINTS.

All face brickwork unless otherwise specified shall have raked joints. Where coloured mortar is used there shall be no loss of fastness, nor of the evenness of colour in all joints.

29. **GENERALLY.**

Carry out all carpentry or steel work as shown on drawings, specified herein or as required, all in accordance with standard trade practice.

30. **ROOF FRAMING.**

To comply with relative Building By-laws, good building practice and Engineer's Detail where applicable.

31. **EAVES FASCIA.**

To tiled roofs to be metal type fixed and finished in accordance with manufacturers' instructions and Builders Standard Detail.

32. **LINED EAVES.**

Where lined eaves occur these to be constructed in accordance with Builder's Standard detail.

33. **EXTENDED EAVES.**

Where eaves are shown extended to form porch roof, they are to be constructed in accordance with Builders' Standard Detail.

34. **EXTERNAL HARDIFLEX.**

Where external Hardiflex is required, sheets shall be 4.5mm thick. Cover junctions of sheets and panels with P.V.C. divisional mould to eaves and ceilings where required.

The following shall be lined as above when shown on plan:

- Gable soffits and soffits of boxed out gables.
- Lined eaves.
- Extended eaves.
- Porch ceilings.
- Carport or garage ceilings where required.

JOINER

35. **ALUMINIUM DOORS AND WINDOWS.**

Aluminium doors or windows shall be type and size shown on drawings not necessarily as displayed and fixed in accordance with the manufacturers' specification.

36. **GENERALLY.**

All joinery shall be framed up in accordance with general trade practice. Approximate heights and widths of doors and windows are indicated on drawings. In all cases dimensions must suit brick coursing.

Timber joinery shall be in accordance with Builders Standard Detail.

37. **METAL DOOR FRAMES.**

Internally the Builder may at his option provide metal door jambs which shall be fixed in accordance with manufacturers' instructions.

38. **DOOR BUFFERS.**

Provide and fix buffers where necessary to prevent opening walls.

39. FRONT DOOR.

Front door to be flush panel type. All reference to other door types in the addenda refers to the Builders' Standard Details. Door is to be hung on butt hinges and fitted with lock and furniture as specified later.

40. INTERNAL DOORS.

Builders' standard internal flush door is preprimed hardboard.

Doors are to be hung on butt loose pin hinges, except W.C. door to have removable hinges.

Note: Doors selected for staining will be charged at an extra cost.

41. DOOR FURNITURE.

All doors to be fitted with a lock or latch set as per Builder's sample.

Bathroom and W.C. latches to have a privacy lock.

Master bedroom ensuites may require self closing door if no airlock is provided.

42. METER CABINET.

Provide and build in position standard metal meter box in accordance with S.E.C. regulations for electricity supply and in accordance with the regulations for gas supply when required.

43. KITCHEN CUPBOARDS.

Kitchen cupboards to be to the extent indicated on plan, and to be finished as specified in Colour Schedule and Addenda.

44. BUILT-IN ROBES.

To the extent shown on plan and constructed in accordance with Builders Standard Detail.

45. ARCHITRAVES.

To be as per Builders Standard Detail.

46. SKIRTINGS.

Skirtings to be ex 75mm x 25mm bullnosed on top edge. (When specified in Addenda).

47. SPECIAL TRIM.

All skirtings, architraves and nosings to be of the type of timber specified in the addenda and shall be clear varnished.

ROOFER**48. ROOF TILES.**

Cover the whole of the roof with terra cotta roofing tiles or with concrete roofing tiles as specified in the addenda.

The whole of the roof shall be guaranteed for two years by the manufacturer against leakage but the maker shall be responsible for making good of any damage caused by such leakage.

PLUMBER

49. GUTTERS.

Eaves gutters shall be of galvanised iron or other approved material.

50. DOWNPIPES.

Provide and fix where shown on plan galvanised iron downpipes or other approved material.

51. VALLEYS.

Valleys shall be lined with galvanised iron or other approved material. Valleys to have beaded edges.

52. FLASHING.

Will be provided as required to make the whole job watertight.

SANITARY PLUMBING

53. GENERALLY.

All fixtures required in this contract and specified below shall be connected to the drainage system in accordance with regulations.

54. SCHEDULE OF EQUIPMENT.

To be provided as detailed in the Addenda and installed to conform with regulations.

Whilst the Builder is to make every endeavour to match colours of sanitary fixtures, some variations in such colours may occur.

55. WATER SUPPLY.

Lay on water from main in 20mm service.

Internal reticulation shall be 12mm tubing.

Two external taps, one to front and one to rear of building, are to be positioned against the building.

All chrome cocks unless otherwise specified shall have acrylic handles marked clearly with hot and cold buttons and all cocks shall be of tested quality.

Where special taps are required, they shall be of type specified in the addenda.

Note: Should water not be available during construction the adequate supply of such shall be the responsibility of the owner.

Further where a mains service is not available and connection is required to any type of local water supply, all cost in connection with same will be borne by the Owner.

PLASTERER

56. GENERALLY.

All rendering and plastering shall be carried out in a workmanlike manner and in accordance with good building practice.

CEILER

57. CEILINGS.

All ceilings shall be carried out by an approved ceiling manufacturing firm and all material and workmanship shall be in accordance with accepted trade practice.

Provide cornices to all ceilings unless otherwise specified.

58. FLUME VENTS.

Where a internal toilet is shown on plan fix flume vent as instructed by the Local Authority.

TILER

59. GENERALLY.

All tiles shall be of selected quality and colour within the Builders' standard range.

60. TILED AREAS.

Areas to be tiled will be strictly as per plans and addenda.

61. GROUTING.

All tiled surfaces shall be grouted in natural cement unless otherwise specified in addenda.

62. PATTERNS.

Unless specifically requested by the Owner all pattern tiles shall be laid in a manner decided by the Builder.

ELECTRICIAN

63. GENERALLY.

The electrical installation is to be executed by a fully qualified electrician in accordance with the requirements of the Supply Authority and the regulations of the Fire Underwriters' Association.

Provide light and power points as shown on electrical diagram.

Note: Where additional light pole and/or meter box are required by S.E.C. an extra will be charged.

Should a temporary connection be required for pumps etc. in relation to temporary water supplies, this will be chargeable.

PAINTER

64. MATERIALS.

The whole of the materials shall be of Builders nominated brand.

65. PREPARATION.

All areas to be prepared, primed etc. in accordance with best trade practice before finishing coats are applied.

66. CLEAR VARNISH.

All work specified in addenda to be clear varnished shall be prepared, then painted two coats of sanding sealer and one coat of clear varnish, satin finish.

67. STAIN & VARNISH.

All work specified in addenda to be stained and varnished shall be prepared, stained to an even tint with spirit stain, given one coat of sanding sealer and one coat of a varnish. The ultimate finish of stain and varnish may not necessarily be the same colour as displayed.

GLAZIER

68. CLEAR GLASS.

All glazing shall conform with Australian standards for safe glazing sites. Except where otherwise specified, glass shall be 3mm clear sheet.

69. OBSCURE GLASS.

The following shall be glazed with approved obscure glass:

- (a) Sashes to bathroom.
- (b) W.C. window where shown.

Unless otherwise specified all obscure glazing to be standard patterned.

70. MIRRORS.

Fixed wall mirror to be provided and fitted when indicated on plan.

71. GLASS SHOWER SCREEN.

71. When indicated on drawings provide and fix a shower screen glazed with wired georgian glass.

COMPLETION

72. CLEANING UP.

At completion of the contract the whole site is to be cleared of all surplus materials excepting those referred to in Clause 9, rubbish etc. due to the works of this contract, holes are to be filled in and the grounds left clean and tidy. The buildings are to be thoroughly cleaned out, all glass cleaned and the buildings left in a state for immediate occupation.

THIS IS THE SPECIFICATION REFERRED TO IN CONTRACT

Dated.....

Owner.....

Witness.....

Owner.....

Witness.....

Contractor.....

Witness.....

32858 16/04/97 14:38 Cheque 500.00
SHIRE OF SERPENTINE-JARRAHDALE

32858 16/04/97 14:38 Cheque 500.00
SHIRE OF SERPENTINE-JARRAHDALE

OFFICIAL RECEIPT CASH/CHEQUE

Must bear imprint of cash register to be valid. N.D. Fimmano, Shire Clerk

SHIRE OF SERPENTINE-JARRAHDALE

PATERSON STREET, MUNDIJONG, 6202

TELEPHONE (09) 525 5255



16 April 19 97

Plunkett House

PARTICULARS

Lot 101 No. Street	Mundijong Rd	
Locality	Mundijong	
Building Application Fee	BPA 60/97	3756-213
BCITF		8502-1522
Security Deposit		13800-1525
Demolition Licences		3757-214
Planning Applications		1769-461
Other:		
Ordinary Council Meeting - 14 December 2020		500 -

Allied Minet

A division of Minet Australia Limited
A.C.N. 004 487 996

Insurance Brokers and Risk Consultants

LOCAL GOVT COPY**ALLIED MINET HOME INDEMNITY INSURANCE****Owners' Application Form**

I/We apply for insurance cover under the Allied Minet Home Indemnity Insurance	
I/We have received a copy of and read and understood the Policy's terms and conditions	
I/We agree that this Application Form, the details completed on the Certificate of Insurance and any supplementary information sheet(s) attached hereto shall be the basis of the contract with the Insurer	
Owner's Signature(s)	Date <i>14.7.97.</i>

CERTIFICATE OF INSURANCE


for the

Allied Minet Home Indemnity Insurance

Underwritten by GIO Insurance Ltd ACN 052 179 647
and QBE Insurance Limited ACN 000 157 899

ISSUED TO:

CERTIFICATE NUMBER: PLU/T-002

Owner's Name(s)	TERRELL: JAN	Date of Issue	31/1/97
Postal Address	2 RODINGÅ CLOSE ROSSMOYNE WA 6148	Builders Job No	7025
		Contract Date	EST 14/2/97
		Telephone	354 4034
Site Address	LOT 101 MUNDIJONG ROAD, MUNDIJONG		
Contract Value	\$ 127,071.00	Premium	\$Paid by Builder
Name of Builder	Westcourt Limited (ACN 009 250 373)		
Cover - As per Home Indemnity Insurance Policy Wording Ref A2/IC0033 in accordance with the Home Building Contracts Act 1991 of Western Australia			
For and on behalf of the Insurers			

Please Note

Allied Minet (a division of Minet Australia Limited ACN 004 487 996) have arranged this insurance on your behalf as Agents for the Insurers.

Notice of Claims

Notice of facts that might give rise to a claim must be given to the Insurers via Allied Minet as soon as possible (and in any case within 90 days) after the Insured becomes aware of those facts. The Policy does not provide cover in relation to events that occurred prior to the date of issue on this Certificate of Insurance.

Level 32 QV1

250 St. Georges Tce, Perth Western Australia

P.O. Box 7026 Cloisters Street, Perth Western Australia 6000

Phone: (09) 429 4444 • Fax: (09) 429 4490 • DX 203 Perth

Ordinary Council Meeting - 14 December 2020



Minet

CERTIFICATE OF INSPECTION

LOT NO:	101	CLIENT:	PLUNKETT HOMES
STREET:	MUNDIJONG RD	ORDER NO:	
LOCATION:	MUNDIJONG	JOB NO:	7025
		OWNER:	TERRELL

This is to certify that the above mentioned site has been assessed to determine footing requirements for the proposed residence.

The site has been assessed as a Class 'S' site.

As such, it is recommended to use the attached footing detail E2 upon normal earthworks, ensuring compliance with the notes and information on the detail.

Normal earthworks include but are not limited to:

- Removal of all organic material from the pad area.
- Removal of all rubbish and deleterious fill such as clay from the pad area where appropriate.
- Grubbing out of any trees where necessary and ensuring the remaining holes are compacted satisfactorily.
- Notifying the engineer of any unusual features or discrepancies which may become evident during earthworks.

The sand pad is to be ⁷⁵⁰600mm above cut level.

BOREHOLE 1 0-150 topsoil/silty clay; 150-450 clayey sand; 450-750 sandy clay
 BOREHOLE 2 0-150 topsoil/silty clay; 150-380 clayey sand; 380-750 sandy clay

KERRY HEGNEY
 PRINCIPAL BUILDING SURVEYOR
 12/12

This site was positively identified via site plan being provided.

Termite level is assessed as low upon the recommendations above being complied with.

At the time of inspection the site was basically flat and covered in weeds.

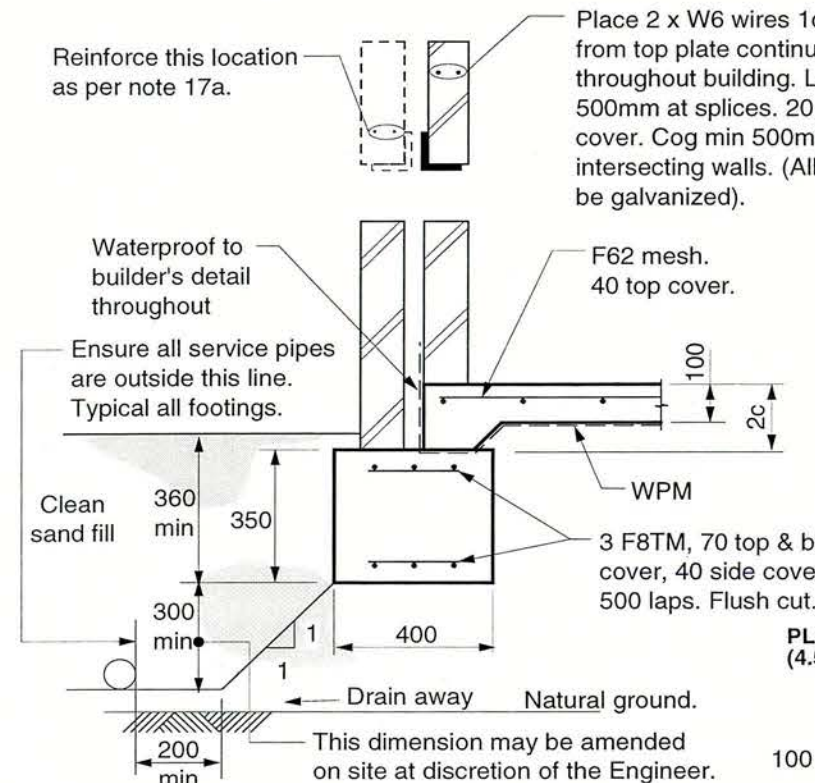
Refer to the CSIRO Brochure Ref No 10-91, our clay facts sheets #1 and #2 and a crack classification for the expected maintenance and performance requirements, and the expectations of the proposed residence.

The base is to be inspected and approved by an Engineer.

This site maybe in a possible low lying area therefore may require a built up sand pad. Refer back to council for their recommendations.

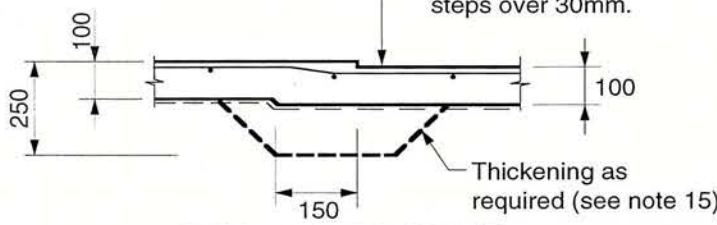
Signed.....  Date March 7,

SHIRE OF SERPENTINE-JARRADALE			
13 MAR 1997			
997			
SC	<input type="checkbox"/>	SP	<input type="checkbox"/>
ASC	<input type="checkbox"/>	EO	<input type="checkbox"/>
MPS	<input type="checkbox"/>	RNGR	<input type="checkbox"/>
MTS	<input type="checkbox"/>	RATES	<input type="checkbox"/>
PBS	<input checked="" type="checkbox"/>	ACCTS	<input type="checkbox"/>
PEHO	<input type="checkbox"/>		<input type="checkbox"/>

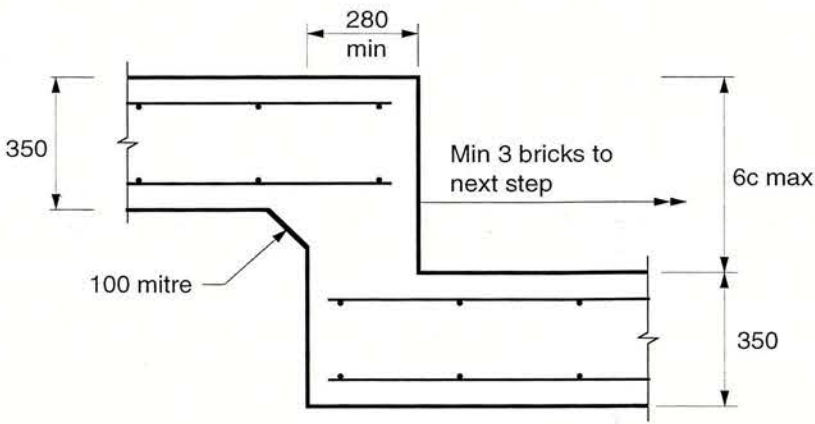


EXTERNAL WALLS

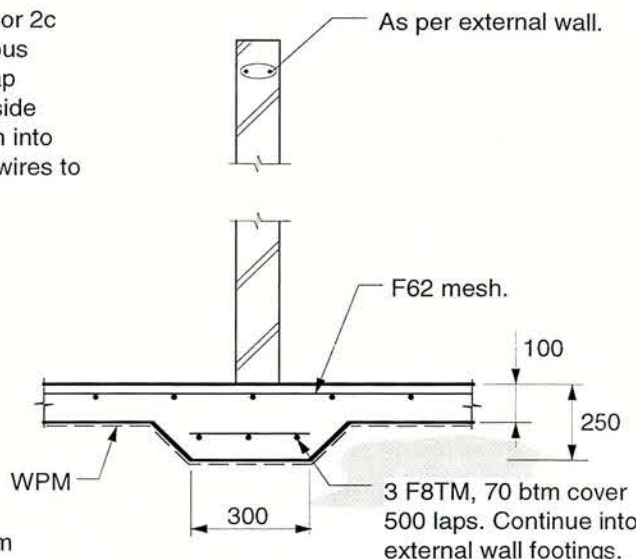
Setdown at wet area to architectural requirements. (50 max). Maintain 100mm slab thickness. Fold mesh down to maintain cover. Place diagonal bars at re-entrant corners for steps over 30mm.



WET AREA STEP

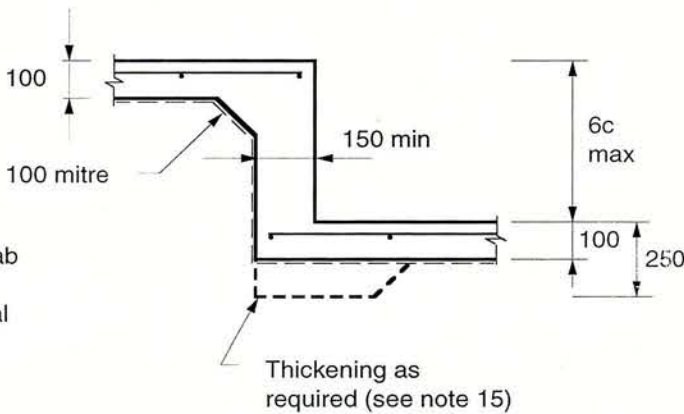


FOOTING STEP



INTERNAL THICKENINGS

PLACE THICKENINGS IN A CONTINUOUS GRID PATTERN (4.5m MAX CRS EACH WAY).

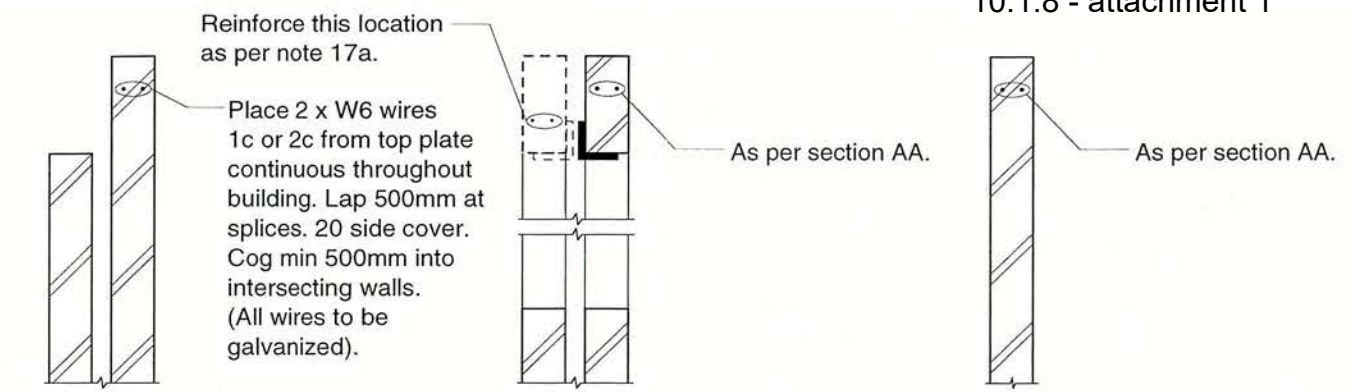


SLAB STEP

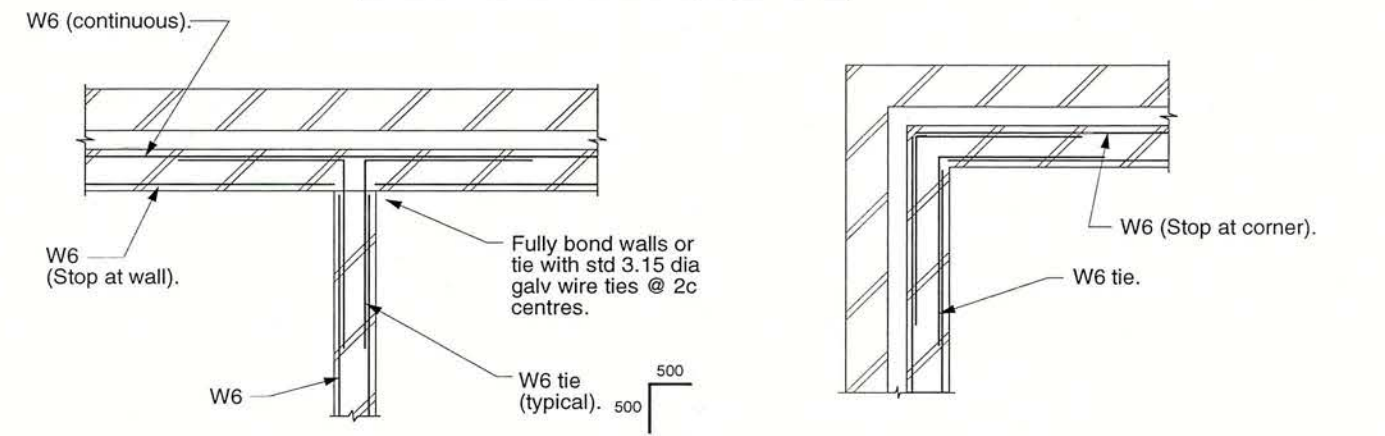
NOTES:

1. Remove all topsoil, vegetation and deleterious fill material from the building area.
2. Sand fill to be clean well drained, with max fines (particles up to 0.07mm) content of 5%. Sand to be compacted to a min 5 blows/300mm for 750 mm or depth of pad.
3. If clay on site, an Engineer to be consulted.
4. Any predominant rock in house pad area to be inspected by the Engineer.
5. Sub soil drainage may be required. This will be confirmed after site is cut.
6. Drain roof and surface water away from foundation area to site drain. (Drain to Local Authority storm water drainage system where appropriate).
7. Excavations for plumbing not to undermine footings. If undermining is likely to occur, contact the Engineer.
8. Where plumbing pipes pass through footings or slab, specified depth of all concrete is always to be maintained.
9. All mesh to conform with AS 1304.
10. Lap all mesh one transverse wire plus 25mm or to manufacturer's specifications.
11. Concrete to conform with AS 3600.
12. Blended cement to conform with AS 1317.
13. All concrete to be N20/20/80.
14. Cure slab by keeping moist for 7 days (or equivalent method), to improve crack control.
15. Place slab thickenings (300 wide x 250 deep) in a continuous grid pattern (4.5m max crs each way).
16. Refer to Certificate of Inspection.
17. (a) Place 2W6 wires in top or second top bed joint, continuous throughout all internal brickwork. (If brickwork placed above window head level of external leaf, then reinforce bed joint above window head level as above).
- (b) Lap wires 500 at splices and around corners and cog 500 into intersecting walls. 20mm cover to all wires.
- (c) All wires to be galvanized to AS 1650.
- (d) For walls higher than 28c, reinforce as per (a) above and also at the 27c level of all walls.
18. Builder to ensure that client be informed of necessity to maintain drains in good working order at all times.
19. Builder to advise client to consult an Engineer before planting trees or shrubs within 2.5m, or a distance equal to the anticipated maximum height of the tree, of the building. (whichever is least).
20. It is considered that this design is suitable for the foundation conditions to be encountered and will adequately control any cracking of brickwork and concrete.

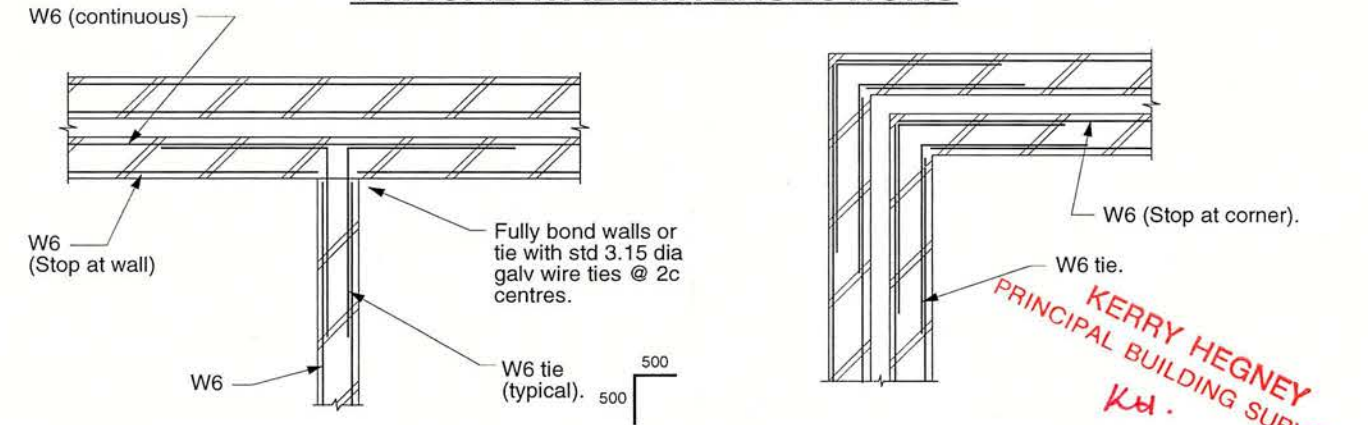
TERMITE PROTECTION
See attached notes relating to termite protection. They are to be read in conjunction with this detail and form part of the detail.



TYPICAL WALL SECTIONS 1:20



TYPICAL WALL INTERSECTIONS 1:20



TYPICAL WALL INTERSECTIONS 1:20

• Where external leaf over openings

THE APPROVED SIGNATURE ON THIS FOOTING AND SLAB DETAIL ENDORSES ITS USE FOR SINGLE STOREY BUILDINGS.

E2

PROJECT: LOT 101 MUNDIJONG MUNDIJONG	STRUCTERRE CONSULTING ENGINEERS <small>Zemia Pty Ltd (acn 008 968 283) as Trustee for the Young Purich and Higham Unit Trust trading as Structerre</small> CHARTERED PROFESSIONAL ENGINEERS CIVIL AND STRUCTURAL DESIGN CONSULTANTS 10 GIBBERD ROAD, BALCATTA W.A. 6021 TEL 345 3566 FAX 345 1084	
CLIENT: PLUNKETT HOMES	SCALE 1 : 20	APPROVED
	DATE	

Ordinary Council Meeting - 14 December 2020

COUNCIL COPY

NOTES FOR THE PROTECTION OF BUILDINGS FROM SUBTERRANEAN TERMITES

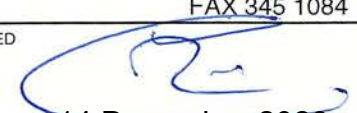
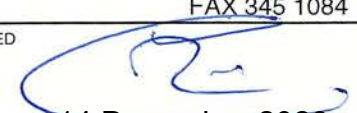
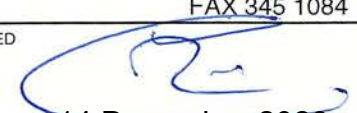
1. These notes are to be read in conjunction with and form part of the attached footing and slab detail.
2. The slab design issued with these notes satisfies the Performance Criteria specified in AS2870 - Residential Slabs and Footings, with respect to the maximum slab crack width expectation being less than 0.5mm.
The slab is therefore considered to be suitable as a physical barrier against subterranean termites.
3. Slab mesh is to be placed in accordance with AS2870 (Part 1: Construction).

4. METHODS OF TERMITE PROTECTION

- 4.1 If chemical perimeter treatment is used, it is to be placed in accordance with AS3660.1 - Protection of Buildings from Subterranean Termites - Section 7 (Chemical Soil Barriers).
- 4.2 If stainless steel mesh is to be used as a physical barrier, it is to be placed in accordance with AS3660.1 - Protection of Buildings from Subterranean Termites - Section 5 (Stainless Steel Mesh Barriers), and in accordance with the manufacturer's instructions.
- 4.3 If "Granitgard" is to be used as a physical barrier, it is to be placed in accordance with AS3660.1 - Protection of Buildings from Subterranean Termites - Section 6 (Graded Stone Barriers), and in accordance with the manufacturer's instructions.
- 4.4 If the concrete slab is to be used as a physical barrier, it is to be constructed in accordance with AS3660.1 - Protection of Buildings from Subterranean Termites - Section 3 (Concrete Slab as a Physical Barrier). If the slab and footing are not constructed monolithically, the slab/footing junction shall be protected as prescribed in AS3660.1.
The slab and footing are considered to be monolithic if the slab/footing junction is traversed by R10 fitments at 600mm centres.
5. If all roof members are termite resistant hardwood, treated softwood or steel, all internal walls are masonry and all internal roof supporting columns are steel or masonry, then there are no structural members requiring termite protection. This is in accordance with the terms of the Building Code of Australia which only requires protection of structural members.

KERRY HEGNEY
PRINCIPAL BUILDING SURVEYOR
KH.

COUNCIL COPY

<p>PROJECT :</p> <p style="text-align: center;">LOT 101 MUNDIJONG MUNDIJONG</p>	<p style="text-align: center;">STRUTTERRE CONSULTING ENGINEERS <small>Zemla Pty Ltd (acn 008 966 283) as Trustee for the Young Purich and Higham Unit Trust trading as Strutierre</small></p> <p style="text-align: center;">CHARTERED PROFESSIONAL ENGINEERS CIVIL AND STRUCTURAL DESIGN CONSULTANTS 10 GIBBERD ROAD, BALCATT A W.A. 6021 TEL 345 3566 FAX 345 1084</p>						
<p>CLIENT :</p> <p style="text-align: center;">PLUNKETT HOMES</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; padding: 2px;">SCALE</td> <td style="width: 50%; padding: 2px;">APPROVED</td> </tr> <tr> <td style="padding: 2px;">1 : 20</td> <td style="padding: 2px; text-align: center;"></td> </tr> <tr> <td style="padding: 2px;">DATE</td> <td style="padding: 2px;"></td> </tr> </table>	SCALE	APPROVED	1 : 20		DATE	
SCALE	APPROVED						
1 : 20							
DATE							



Shire of Serpentine-Jarrahdale
6 Paterson Street, Mundijong 6202

CONDITIONS OF BUILDING LICENCE

Application No: 0060 Lot No: 101 Street/Suburb

Mundijong Road
Mundijong

The conditions listed below shall be read in conjunction with the approved plans attached.

- 1. The area to be occupied by the residence and 1800mm beyond to be cleared and excavated to a depth of 150mm below ground level...
2. 750mm minimum clean sand fill shall be placed above the cut including 1800mm around the perimeter of house...
3. BUILDER NOTE
4. Termite treatment is to be placed strictly in accordance with AS 3660.1 (1995)...
5. Copy of compaction certificate for existing soil and sand fill shall be made available before placement of footings or concrete slab floor.
6. Concrete footings and floor slabs shall be constructed to the specification and detail of a Qualified Structural Engineer.
7. An approved form of retaining walls is required where cut or fill occurs.
8. All footings and floor slabs shall be inspected by Council Staff prior to the concrete being poured.
9. Roof drainage shall be installed in accordance with Council's requirements and Part F1 of the Building Code of Australia.
10. Roof Construction to comply with AS.1684.
11. Roof sheeting to be fixed strictly in accordance with manufacturer's specification.
12. An inspection of the roof frame is required.
13. Builders are to maintain a minimum of 100mm between the floor level and the external paving adjacent to external openings.
14. Comply with the requirements of the Council's Technical Services Department.
15. Comply with the requirements of the Council's Health Department.
16. Comply with notations in red on drawings.
17. Any Class of bulding that is constructed in a designated Bushfire prone area must be provided with protection to reduce the risk of ignition by embers in the advent of bushfire.
18. This property is subject to a Bush Fire Management Plan which may effect the location and construction of buildings and how the property is maintained.
19. Prior to commencement of works you are advised to contact the Senior Ranger to inspect the building site and advise on the location and siting of the building in relation to natural bush and other fire safety features that may be of benefit for the protection of life and property.
20. An additional 10,000 litres of water is to be added to the 92,000 litre domestic water supply for fire fighting purposes.

Insert where required.

NOTE: This Licence is issued subject to compliance with the Building Code of Australia.

Kerry Hegney
Principal Building Surveyor

COUNCIL COPY



Shire of Serpentine-Jarrahdale
6 Paterson Street, Mundijong 6202

BUILDING LICENCE NO: 60/97

BUILDING CONTROL DISCLAIMER

This disclaimer of legal liability of responsibility shall have, and is intended to have, effect as a condition of the Building Licence hereby issued.

Whilst Council has inspected the plans and specifications with a view to ascertaining the extent of compliance of the proposed building with all relevant By-Laws, Regulations and statutory provisions, ("the statutory provisions") and reserves the right to carry out site inspections, Council disclaims all legal liability and responsibility for:

- (i) actual compliance by the plans and specifications with the statutory provisions; or for
- (ii) any defect (latent or patent) in the design and/or construction of the subject building;
- (iii) any defect in the site and its capacity to support the foundations or in the materials used in the construction of the building.

You as builder/building owner must take responsibility in relation to each and all of the foregoing matters and not rely upon the Council in relation thereto. By acting upon this permit, you as builder/building owner release and discharge the Municipality from all liability in relation to such matters, and indemnify the Municipality from all claims for loss or damage sustained by you and any successors in title by reason of non-compliance by plans and specifications and/or the building with the statutory provisions, or by reason of any such defect.

NOTE: COUNCIL IS TO BE INFORMED UPON COMPLETION OF WORK

THE FOLLOWING AUTHORITIES WILL NEED TO BE CONTACTED:

1 Water Corporation 13 South Street, Canning Vale Technical Enquiries (Tel: 13 13 95)	Before work is commenced plan is to be submitted and approved by the Water Corporation (Check of sewer and/or water lines).
2 Western Power (Tel: 13 13 53)	Requires a minimum of 6 weeks notice for connection to a new house.
3 Telstra (Tel: 13 22 00)	For Telecommunication precabbling specifications refer to your District Telecom Liaison Officer.
4 Alinta Gas (Tel: 13 13 58)	If available.


NED FIMMANO
CHIEF EXECUTIVE OFFICER

COUNCIL COPY

March 1997

BUILDING\CONDITION\DISCLAIM.DOC

Ordinary Council Meeting - 14 December 2020

SHIRE OF SERPENTINE-JARRAHDAL

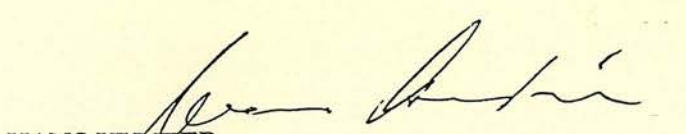
BY-LAWS RELATING TO THE PROVISION OF RUBBISH BINS ON BUILDING SITES

MODEL BY-LAWS SERIES A AMENDMENT. SECTION 19(3):

- “(A) During all periods of construction on any building site:-
- (i) The builder shall provide and maintain on such site a rubbish disposal bin approved by the Local authority being either:-
 - (a) a bin of not less than 4 cubic metres in capacity; or
 - (b) a bin of not less than 0.20 cubic metres in capacity in which case such bin shall have an effectively operating lid.
 - (ii) The builder shall keep such site free of rubbish and offensive matter, whether temporary or otherwise.
 - (iii) The builder shall maintain the street verge immediately adjacent to such site free of rubbish or offensive matter, whether temporary or otherwise.
 - (iv) The builder shall on completion of construction immediately clear the site and the street verge immediately adjacent thereto of all rubbish and offensive matter and shall remove therefrom all or any rubbish disposal bins placed thereon by the builder.
- (B) In this By-Law, the word “rubbish” shall be deemed to include stones, bricks, lime, timber, iron, tiles, bags, plastics and any broken, used or discarded matter whatsoever, whether of the same kind or type or otherwise.
- (C) In this By-Law the word “builder” shall include the person or persons or firm or corporation who shall be the holder of any building licence issued in respect of such building works by the Shire of Serpentine-Jarrahdale and shall also include any person or persons or firm or corporation who shall be in effective control of such building site whether or not such person or persons or firm or corporation shall be the holder of any such licence,”

PENALTIES ASSOCIATED WITH ANY OFFENCE UNDER THE LITTER ACT 1979 COULD INVOLVE INCURRING FINES UP TO \$400.00.

YOUR CO-OPERATION IS REQUESTED


HANS HUNTER
PRINCIPAL ENVIRONMENTAL HEALTH OFFICER
August 1995

COUNCIL COPY

8 - attachment 1



MAIN ROADS
Western Australia

Don Aitken Centre
Waterloo Crescent
East Perth WA 6004

Enquiries: Mr P O'Loughlin on 323 4429

Our Ref: 41-2027-4 00000893.MEP

Your Ref:



Chief Executive Officer
Shire of Serpentine-Jarrahdale
6 Paterson Street
MUNDIJONG WA 6320

ATTENTION: KERRY HEGNEY

Dear Sir

PROPOSED HOUSE CONSTRUCTION, LOT 101 MUNDIJONG ROAD, PEEL ESTATE, PLUNKET HOMES

Main Roads has received a request from Plunket Homes, copy attached, to comment on the location of the above home on Lot 101.

The proposed location of the house appears to be within the existing Metropolitan Region Scheme (MRS) reservation for the future Peel Highway, now referred to as Mundijong Road.

However, Main Roads in consultation with the Ministry for Planning has undertaken a planning study to redefine this route. This proposal allows for the widening of the existing road reservation as shown on the attached extract of Main Roads Drawings Nos 9721-008 and 009.

These plans have been submitted to the Ministry for Planning for inclusion in the next South East Omnibus MRS Amendment.

If this Amendment is adopted by the relevant authorities then the proposed location of the house is acceptable.

Yours faithfully

B A Clarke
EXECUTIVE DIRECTOR ROAD AND TRAFFIC PROGRAMS

Per

COUNCIL COPY

April 11 1997



SHIRE OF SERPENTINE-JARRAHDAL

**INFORMATION REGARDING A SECOND
DWELLING ON A LOT**

This approval for a second dwelling on the subject lot does not mean subdivisional approval is automatic.

The building should be sited to the best advantage on the lot relative to possible development in the long term.

Setback requirements and open space need to be considered.

COUNCIL COPY

OTTAGE & ENGINEERING SURVEYS
 Licensed Surveyors

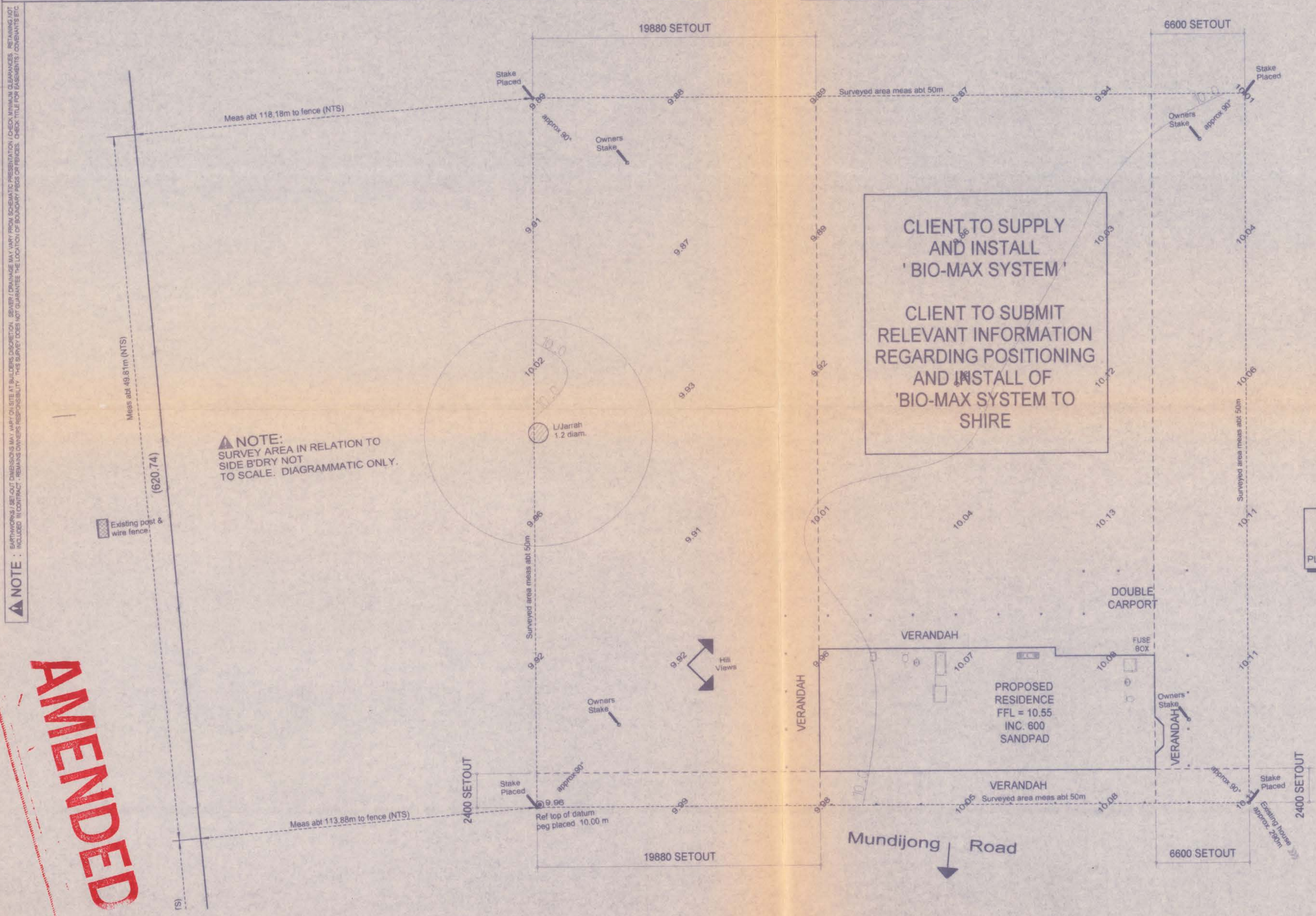
WA 2, 19 ONSLOW ROAD, SHENTON PARK, 6006
 Telephone 381 62 11 Fax 381 25 03
 QLD Unit 10, 8 DENNIS ROAD, SPRINGWOOD, 4
 Telephone 808 7244 Fax 808 7349

J/N: 9700431 DATE: 03/02/97 SCALE: 1:200 DRAWN: A. Bosch

BUILDER: Plunkett Homes
CLIENT: Terrell
LOT 101 Mundijong Road
Peel Estate

- LEGEND:**
- SEC Dome
 - ⊕ Power Pole
 - ☎ Phone
 - ▭ Conc. Path
 - ▭ Conc. Slabs

SOIL DESCRIPTION
 Clay
 Medium Grass Cover



NOTE:
 SURVEY AREA IN RELATION TO
 SIDE B'DRY NOT
 TO SCALE. DIAGRAMMATIC ONLY.

**CLIENT TO SUPPLY
 AND INSTALL
 'BIO-MAX SYSTEM'**

**CLIENT TO SUBMIT
 RELEVANT INFORMATION
 REGARDING POSITIONING
 AND INSTALL OF
 'BIO-MAX SYSTEM TO
 SHIRE'**

SHIRE OF SERPENTINE-JARRAHDALE
 Termite treatment is to be placed strictly in
 accordance with AS 3660.1 (1995) to achieve
 the performance required under the Building
 Code of Australia (BCA) Part B1.3(j).

THE SHIRE OF SERPENTINE JARRAHDALE
 COMPACTION CERTIFICATE
 REQUIRED

NOTE:
 FINISHED FLOOR
 LEVEL TOLERANCE
 PLUS OR MINUS 150mm

AMENDED PLAN
COUNCIL COPY

THE SHIRE OF SERPENTINE JARRAHDALE
 ALL VEGETATION TO BE REMOVED FROM
 BUILDING AREA AND REPLACED WITH
 CLEAN COMPACTED FILL

APPROVED BY
 THE SHIRE OF SERPENTINE-JARRAHDALE
Randy Higgins
 M. A.T.S., QUAL. L.G.B.S. DIP. BLDG. REG. BUILDER
 ACCREDITED BUILDING SURVEYOR B.S.A.P.
 DATE: 15/4/97

AMENDED