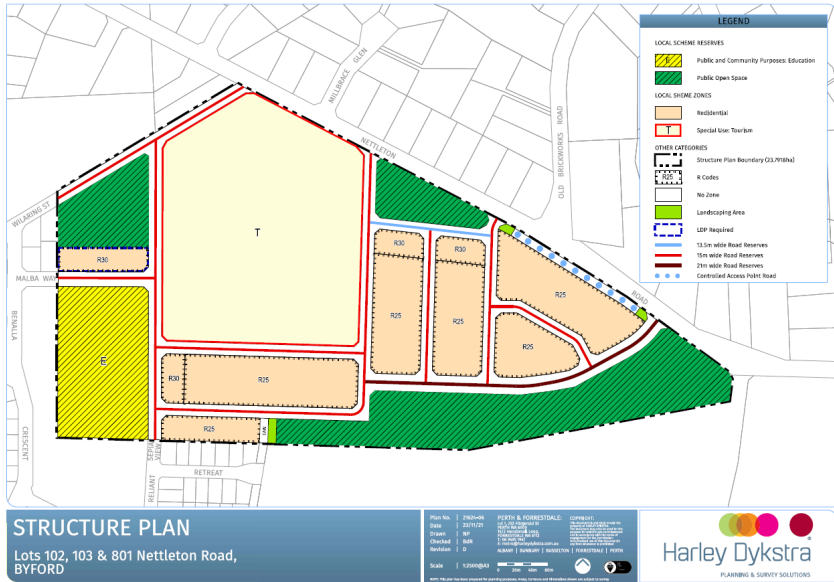


Lot 102, 103 and 801 Nettleton Road, Byford – Local Structure Plan – Schedule of Modifications			
No.	Section	Modification	Justification
1	Local Structure Plan Document and Appendices	Designate the proposed 'Tourism' site as 'Special Use – Tourism'.	'Tourism' is not listed as a zone under the Shire's Town Planning Scheme No. 2 (TPS2) or Draft Local Planning Scheme No. 3 (LPS3) and as such, it is not considered appropriate for a new zone to be identified in the structure plan. Designating the site as 'Special Use' allows for provisions and land use permissibility to be specified for the site.
2	Local Structure Plan Document and Appendices	Extend the Conservation Reserve west to the eastern boundary of Reserve 53031 and 30 metres north from the southern boundary of the structure plan.	To include vegetation mapped as the Banksia Woodlands of the Swan Coastal Plain, Commonwealth TEC. While this vegetation has been identified as degraded, DBCA recommends this land be reserved to improve the condition of the vegetation and restore the values of the State Listed TEC SCP 20b - Banksia attenuata and/or Eucalyptus marginata woodlands of the eastern side of the Swan Coastal Plain.
3	Local Structure Plan Document and Appendices	Reconfigure the street block configuration and street network in the south western portion of the LSP to extend the southernmost east-west road further east, re-orient the street block to provide for north-south lots and identify a right of way to connect to the existing right of way (Reserve 53031) in the subdivision to the south. As shown in the below plan:	It is recommended that the street block configuration and road network be modified to accommodate the extended conservation reserve and achieve a more efficient road and street block design.

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No.	Section	Modification	Justification
			
4	Local Structure Plan Document and Appendices	Identify the residential designated land that abuts Nettleton Road as Residential R15.	Officers recognise that the density proposed by the structure plan is significantly greater than the density of the residential development to the north of Nettleton Road. To ensure an appropriate transition in density and to protect the character of the existing development, it is recommended that the residential designated land that abuts Nettleton Road be identified as Residential R15.
5	Local Structure Plan Document and Appendices	Identify the Residential R30 land on Malba Way as Residential R20.	The proposed location of the Residential R30 land on Malba Way creates some interface issues with the adjoining Residential R20 development to the west and the proposed

Lot 102, 103 and 801 Nettleton Road, Byford – Local Structure Plan – Schedule of Modifications			
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			POS to the north. The established layout of the existing Residential R20 lots is not continued creating a disjointed interface. The side boundary of the existing Residential R20 lots are proposed to directly abut the proposed POS. These lots have not been developed with the intention to directly abut POS and as such there may be limited passive surveillance at this interface. The proposed Residential R30 lots will have a dual frontage to the street and the proposed POS, which can also result in limited passive surveillance over the POS. Furthermore, the site of the Residential R30 is comprised of land identified as a Commonwealth listed TEC. Given the interface issues and the existence of the Commonwealth TEC, Officers recommend that the Residential R30 land on Malba Way be reduced in density to R20, providing for a larger allotment with the capability of interfacing the future public open space in a dual frontage manner.
6	Local Structure Plan Document and Appendices	Include a concept plan for the 'Special Use – Tourism' site that identifies the current consolidated development and future potential development.	To provide a plan that identifies the current and future development intent of the 'Special Use – Tourism' site to inform subdivision and development.
7	Local Structure Plan Document and Appendices	Identify Malba Way and Sepia View, which abut the primary school site, as 'Access Street C' roads in accordance with Liveable Neighbourhoods.	Malba Way and Sepia View abut the future primary school site. To provide for on-street drop-off/pick-up car parking bays within the road reserve, a minimum road reserve width of 15.4m is required in accordance with a typical

Lot 102, 103 and 801 Nettleton Road, Byford – Local Structure Plan – Schedule of Modifications			
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			'Access Street C' road, as defined within Liveable Neighbourhoods.
8	Part 1 – Section 4.0	Modify to include the following new sub-section: <i>'All indicative subdivision layouts shown in this Local Structure Plan and associated appendices are subject to further investigation and detailed design at subdivision stage.'</i>	To clearly specify that subdivision layout is subject to detailed design and investigation.
9	Part 1 – Section 4.0 and Bushfire Management Plan	Modify to include the following new sub-section: <i>'At the time of subdivision, a condition of subdivision approval is to be imposed requiring a notification to be placed on the Certificate(s) of Title(s) to all affected lots to advise of the requirement to site buildings within BAL-29 or less.'</i>	As recommended by the Department of Fire and Emergency Services to notify of the requirements of A1.1 of the Guidelines for Planning in Bushfire Prone Areas.
10	Part 1 – Section 4.0 and Bushfire Management Plan	Modify to include the following new sub-section: <i>'Local Development Plans may be required for affected lots to spatially identify the bushfire management measures to ensure construction within BAL-29 or less.'</i>	As recommended by the Department of Fire and Emergency Services to specify requirements to comply with the Guidelines for Planning in Bushfire Prone Areas.
11	Part 1 – Section 4.0	Modify to include the following new sub-section: Land use permissibility for the 'Special Use – Tourism' site within the Structure Plan area shall be in accordance with the following: Discretionary use classes: <ul style="list-style-type: none"> • Art gallery • Exhibition centre • Recreation – private • Restaurant/café • Single house Discretionary use classes with advertising	To specify land use permissibility for the 'Special Use – Tourism' site. The recommended land uses provide for the existing operations of the Cohunu Wildlife Park and provide opportunities for the further development of tourism generating land uses in this location.

Lot 102, 103 and 801 Nettleton Road, Byford – Local Structure Plan – Schedule of Modifications			
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		<ul style="list-style-type: none"> • Community purpose • Holiday accommodation • Holiday house • Reception centre Incidental use classes: <ul style="list-style-type: none"> • Office • Shop All other uses are prohibited.	
12	Part 1 – Section 4.4	Modify the section to state: <i>‘At the time of subdivision, the following strategies and plans may be required to be provided with the subdivision application or required as a condition of subdivision approval:</i> <i>a) Landscaping and Streetscape Plan;</i> <i>b) Urban Water Management Plan;</i> <i>c) Bushfire Management Plan;</i> <i>d) Geotechnical Report;</i> <i>e) Vegetation/flora survey;</i> <i>f) Fauna Relocation and Management Plan; and</i> <i>g) Interface Management Plan.</i>	<p>To clarify that the strategies and plans may be required to be provided as part of the subdivision application.</p> <p>To include that a vegetation/flora survey may be required at subdivision stage given the potential of threatened and priority flora species to occur within the site.</p> <p>To include that a Fauna Relocation and Management Plan may be required at subdivision stage given the fauna habitat within the site and as specified by the Environmental Assessment and Management Strategy.</p> <p>To include that an Interface Management Plan may be required at subdivision stage to address the interface between the conservation reserve and the Bush Forever Site.</p>

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13	Part 1 – Section 4.7	<p>Modify to include the following additional text:</p> <p><i>‘The following management plans may be required prior to the subdivision and/or development of the ‘Special Use – Tourism’ site:</i></p> <p><i>a) Noise Management Plan;</i></p> <p><i>b) Dust Management Plan;</i></p> <p><i>c) Visual Amenity Management Plan;</i></p> <p><i>d) Bushfire Management Plan;</i></p> <p><i>e) Vegetation and Landscaping Plan’</i></p>	To require management plans relating specifically to the Cohunu Koala Park to be prepared prior to subdivision and/or development to ensure amenity impacts are adequately managed.
14	Local Water Management Strategy	Update the Local Water Management Strategy with Version 2 dated 25 May 2021 to the satisfaction of the Department of Water and Environmental Regulation and the Shire of Serpentine Jarrahdale.	To address the comments raised by the Department of Water and Environmental Regulation and the Shire of Serpentine Jarrahdale.
15	Bushfire Management Plan	Modify the Bushfire Management Plan to address vegetation exclusion and the Cohunu Wildlife Park to the satisfaction of the Department of Fire and Emergency Services and the Shire of Serpentine Jarrahdale.	To assess and demonstrate compliance with the Guidelines for Planning in Bushfire Prone Areas and to identify management measures for the Cohuna Wildlife Park, which is located within the structure plan area.
16	Transport Impact Assessment	Update Figure 5.2 to accurately depict the location of the Byford Train Station.	To ensure that the accurate location of the Byford Train Station is shown.
17	Transport Impact Assessment	Amend to require local area traffic management devices to be implemented in the detailed design of the extension of Wilaring Street.	To ensure traffic calming and improve safety, given that the extension of Wilaring Street will provide a connection between South Western Highway, a primary distributor, and Nettleton Road, a regional distributor.
18	New Appendix	Include a Landscape Masterplan as part of the structure plan to demonstrate the design and functionality of the identified public open space areas.	To provide further detail on the design and functionality of the two public open space areas to ensure that adequate active recreation spaces are accommodated.