



# Community Infrastructure Development Contribution Plan

Report No. 1



Shire of  
Serpentine  
Jarrahdale

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## Revision Schedule

No.	Date	Details	CM
0.1	02/08/18	First Draft	JE
0.2	16/10/18	Draft Revision	JE
0.3	09/09/19	Draft Revision for WAPC Approval	SM
0.4	16/10/19	Draft Revision for Advertising and reformatting	SM



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## **1. Introduction**

This report and appendices comprise the Development Contribution Plan Report for Community Infrastructure (CIDCP) that will be applied to future subdivision in Development Contribution Area 4 (DCA4), which is the subject of Amendment No. 207 to the Shire of Serpentine Jarrahdale Local Planning Scheme No. 2 (LPS2).

The report included in the amendment documents sets out general information regarding the amendment and should be read in conjunction with this document which sets out supporting information including that required under State Planning Policy 3.6 – Development Contributions for Infrastructure (SPP3.6).

## **2. Development Contribution Area**

The development contribution area is shown on Sheets 1, 2 and 3 of the scheme maps for the Shire's Local Planning Scheme No. 2 and in Plan 10C and Plan 10D in Appendix 10 of LPS2. As well as delineating the contribution area, Sheets 1, 2 and 3 also shows the catchment areas referred to in the CIDCP to ensure clarity. A copy of Sheets 1, 2 and 3 of the Scheme Map are included in Appendix 1.

## **3. Purpose**

The purpose of the CIDCP is to:

- (a) enable the application of development contributions to develop new, or upgrade, existing community infrastructure which is required as a result of increased demand generated by subdivision/development in the development contribution area;
- (b) provide for the equitable sharing of the costs of infrastructure and administrative items between owners;
- (c) ensure that cost contributions are reasonably required as a result of the subdivision and development of land in the development contribution area.

The following documents are relevant documents which coordinate the timely provision of the community infrastructure items:

- (a) The Shire of Serpentine Jarrahdale Community Infrastructure Public Open Space Strategy adopted December 2016;
- (b) The Shire of Serpentine Jarrahdale Community Infrastructure Implementation Plan adopted by Council in August 2017;
- (c) The Byford District Structure Plan adopted in 2008 and the subsequent review adopted



for advertising in December 2018;

- (d) The Mundijong District Structure Plan adopted in 2010 and the subsequent review adopted for advertising in December 2018;
- (e) The Shire of Serpentine Jarrahdale Draft Local Planning Strategy (the LPS) adopted in December 2017 and further adopted in December 2018 for advertising;
- (f) The Shire of Serpentine Jarrahdale Strategic Community Plan adopted in August 2017;
- (g) The Shire of Serpentine Jarrahdale Corporate Business Plan adopted in August 2017; and
- (h) The Shire of Serpentine Jarrahdale Long Term Financial Plan adopted in June 2018.

#### **4. Period of the CIDCP**

The CIDCP will operate until 30 June 2015, however may be extended for further periods, with or without modification, by subsequent scheme amendments.

This timeframe reflects the forecasted “hyper-growth” of the Byford and Mundijong areas and is required to ensure that infrastructure built will sustain long-term population growth, thus avoiding future costs and disruption associated with the duplication of, or retrospective upgrades to, relatively new facilities.

The “Need and Nexus” for each of the infrastructure items included in the CIDCP considers the future capacity required to 2051 which will ensure proper, orderly and cost-effective planning for the anticipated duration of the area’s hyper-growth.

#### **5. Operation of the development contribution plan**

The CIDCP has been prepared in accordance with State Planning Policy 3.6 Development Contributions for Infrastructure and came into effect on the date of gazettal of Amendment No 207, **TO BE UPDATED ONCE GAZETTAL OCCURS.**

#### **6. Application requirements**

Where a subdivision, strata subdivision including both built and/or strata lots), a development application is lodged, or the extension of an existing land use is lodged which relates to land to which this CIDCP applies, Council shall take the provisions of the C I DCP into account in making a recommendation on, or determination of, that application.





## 7. Principles

### 7.1 Need and nexus

The need for each item of infrastructure included in the CIDCP and the connection between the development and the demand created by new development within the Shire is clearly set out in Appendix 2 of this report.

### 7.2 Transparency

The following have been adopted to ensure transparency in the method for calculating and applying the contribution and that the application of the CIDCP is simple to understand and administer:

- The contribution is in respect to new dwellings/lots to be created between 2019 and 2051. The number of existing and future dwellings/lots was calculated based on statistics independently prepared by id Consulting which specialises in demographic forecasting. These calculations also took into consideration the population projections that formed part of the review of the Byford and Mundijong District Structure Plans and associated Traditional Infrastructure Development Contribution Plans. Appendix 4 provides details of the forecast dwellings. Details of the forecast can be accessed from <http://www.id.com.au/> or through a link on the Shire's web site <http://www.sjshire.wa.gov.au/about-serpentine-jarrahdale/lifestyle/population-forecast/>;
- The assessment of the Shire-wide, District and Neighbourhood catchments contained in Appendix 4 clearly shows the number of existing and future dwellings/lots and expresses this future growth for each urban area as a percentage of the total forecast dwellings to ensure that the cost of each infrastructure item is equitably apportioned according to the growth potential in each urban area;
- Sheets 1, 2 and 3 of the Scheme Map clearly show the catchment areas (Appendix 1);
- The location of infrastructure items included in the CIDCP is shown on the Community Infrastructure Facilities Catchment Map (Appendix 5);
- The Community Infrastructure Cost Contribution Schedule for DCA4 (Appendix 6) shows the existing number of dwellings for each Infrastructure item to demonstrate that only future dwellings are paying for the cost attributable to future development and not existing dwellings.

Calculation of an owner's contribution will be based on the number of new dwellings/lots that are created through the relevant subdivision/development application process. The number of new dwellings/lots is then multiplied by the applicable rate for the suburb in which the land is situated. This is the rate shown on the Community Infrastructure Cost Contribution Schedule for DCA4 (Appendix 6).



$$\text{Contribution Rate per lot/dwelling} \times \text{number of additional lots/dwellings being created} \\ = \text{Required Development Contribution}$$

The approach is simple to understand particularly for landowners who wish to determine their obligations. It is also easily assessed and administered by officers.

### **7.3 Equity**

The development contribution is to be calculated on the basis of the number of dwellings/lots that are created through the subdivision/development application process thus ensuring that each owner's contribution is assessed on a clear and consistent basis and thus reflective of the relative need generated by a particular development.

The plan does not make a distinction between Greenfield and Infill/revitalisation residential development.

### **7.4 Certainty**

The CIDCP and the Community Infrastructure Contribution Schedule for DCA4 clearly set out the items to which a subdivision/development in a particular suburb is making a contribution to. Contributions received will be held in a reserve account set up in accordance with the Local Government Act 1995. Funds from this account will only be expended on CIDCP items.

To provide certainty on the cost of the infrastructure items, the CIDCP provides that the cost of each infrastructure item is to be reviewed at least annually to reflect changes in funding and revenue sources and indexed based on the Building Cost Index or other appropriate index as approved by an appropriately qualified independent person.

### **7.5 Efficiency**

Development contributions reflect the whole of life capital cost, but exclude running costs.

### **7.6 Consistency**

The development contributions for DCA4 are uniformly applied across the whole DCA area on a per dwelling basis which reflects the regional and district facilities to be provided to service each particular area. The contribution is levied on subdivision/development or the extension of an existing use in accordance with the Scheme ensuring that whatever form of development is contemplated, the owner/developer will make an appropriate contribution.



## **7.7 Right of consultation and arbitration**

DCA4 provisions were advertised through Amendment No 207 to the Scheme thus satisfying the requirement to consult with landowners and developers on the manner in which the development contributions are determined.

The Scheme provides that an owner may request that any estimate contained in a DCP be independently certified by an appropriately qualified person.

The Scheme provides that any dispute between an owner and the local government in respect to a cost contribution is to be resolved by arbitration.

## **7.8 Accountability**

The costs for each infrastructure item are to be reviewed annually and the CIDCP updated accordingly. The updated CIDCP will be available on the Shire's website and owners can request the review of any cost in accordance with the Scheme, with any dispute in respect to the required contribution determined through arbitration.

A Statement of Accounts showing all revenue and expenditure for the CIDCP is to be prepared for each financial year and audited by the Shire's auditors. The audited statements will be available on the Shire's web site.

## **8. Items included in the CIDCP**

The list of items is set out in the Appendix 10 of the scheme and includes:

### **8.1 District Facilities – Byford**

- B01 Byford Library & Multi-Agency Service Centre - Building
- B02 Briggs Park Pavilion
- B03 Briggs Park Youth Centre
- B04 Briggs Park Recreation Centre Extension
- B05 Orton Road District Sport Space – Building & Lights
- B06 Byford Skate Park – Extension & Pump Track
- B07 Cardup Brook Themed Playground - Nature Play
- B08 Lindt Street Themed Playground - Adventure Playground
- B09 The Glades District Community Facility - Building
- B10 Kalimna Sporting Reserve – Ovals, Building & Lights





## **8.2 District Facilities - Mundijong**

- M01 Whitby District Sporting Space – Building & Lights
- M02 Mundijong Whitby Skate Park & Pump Track
- M03 Keirnan Park Recreation Centre Extension
- M04 Mundijong Whitby Library & Multi-Agency Service Centre - Building
- M05 Mundijong Themed Playground - Dog Park
- M06 Keirnan Park Youth Centre
- M07 Whitby Themed Playground - Adventure Playground
- M08 Mundijong District Community Facility - Building
- M09 Mundijong District Sporting Space – Building & Lights
- M10 Mundijong Themed Playground - Nature Play
- M11 Keirnan Park District Sporting Space – Ovals, Building & Lights

## **8.3 Shire Wide Facilities – Keirnan Park**

- S01 Keirnan Park BMX Relocation and State Facility (Stage 2)
- S02 Keirnan Park Outdoor Aquatic Centre (Stage 6)

The location of infrastructure items included in the CIDCP is shown on the Community Infrastructure Facilities Catchment Map (Appendix 5). The basis for the inclusion of each item in the CIDCP is contained on the specific sheet for each item in Appendix 2.

The cost of infrastructure includes all the initial capital costs associated with the provision of the infrastructure item and excludes ongoing maintenance and operating costs of the infrastructure.

The costs can include items such as the cost associated with planning, design and approvals, clearing permits, clearing works, offset works, site works, servicing infrastructure, construction of the facility including design, tendering and project management, associated landscaping, parking and access arrangements. The cost of land acquisition is already accounted for in the Byford and Mundijong Traditional Infrastructure Development Contribution Plans, however where additional land or transactions costs are required this could be included in this Community Infrastructure Development Contribution Plan.

## **8.4 Administration**

The following Administration costs are included in the CIDCP:

- Cost to prepare the Development Contribution Plan and administer it for the period of operation (including legal expenses, valuation fees, cost of design and cost estimates, proportion of staff salaries, computer software and/or hardware required for the purpose of administering the



plan and audit fees).

- Cost to prepare and undertake an annual review of cost estimates including the costs for appropriately qualified independent persons, including an annual audit.
- Costs to prepare and update the Community Infrastructure Cost Contribution Schedule.

## **8.5 Cost apportionment:**

The apportionment of the costs for Shire-Wide and District infrastructure items to each urban area can be seen on the Cost Contribution Schedule included in Appendix 6.

## **9. Reviews**

The Development Contribution Plan will be reviewed when considered appropriate, though not exceeding a period of five years duration, having regard to the rate of development in the area since the last review and the degree of development potential still existing.

Adding or deleting items will result in the need for an amendment to LPS2 to make the necessary changes to the CIDCP.

The estimated cost of infrastructure items shown on the Cost Contribution Schedule will be reviewed at least annually to reflect changes in funding and revenue sources and indexed based on the Building Cost Index or other appropriate index as approved by the qualified person undertaking the certification of costs in accordance with the provisions of the CIDCP.

## **Appendixes**

Appendix 1: Scheme Map

Appendix 2: Need and Nexus for Community Infrastructure Items

Appendix 3: Community Infrastructure Facilities Costing Tables

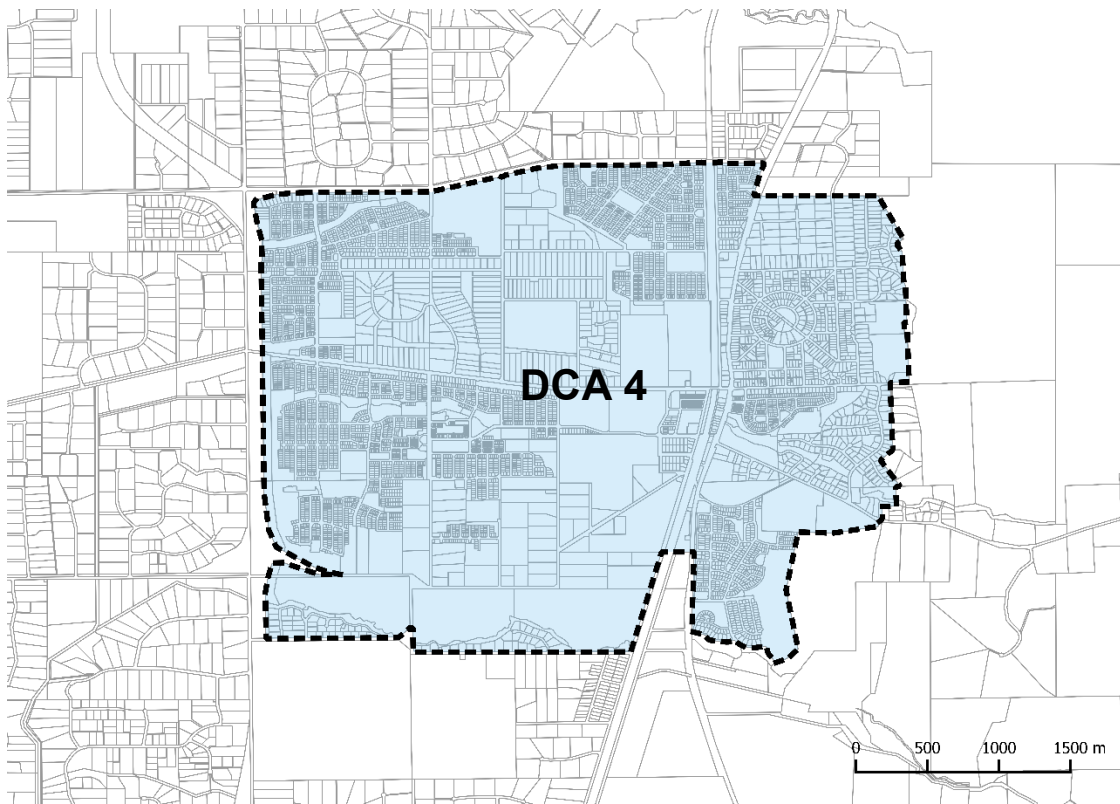
Appendix 4: Population Forecast and Growth Potential per area

Appendix 5: Community Infrastructure Facilities Catchment Map

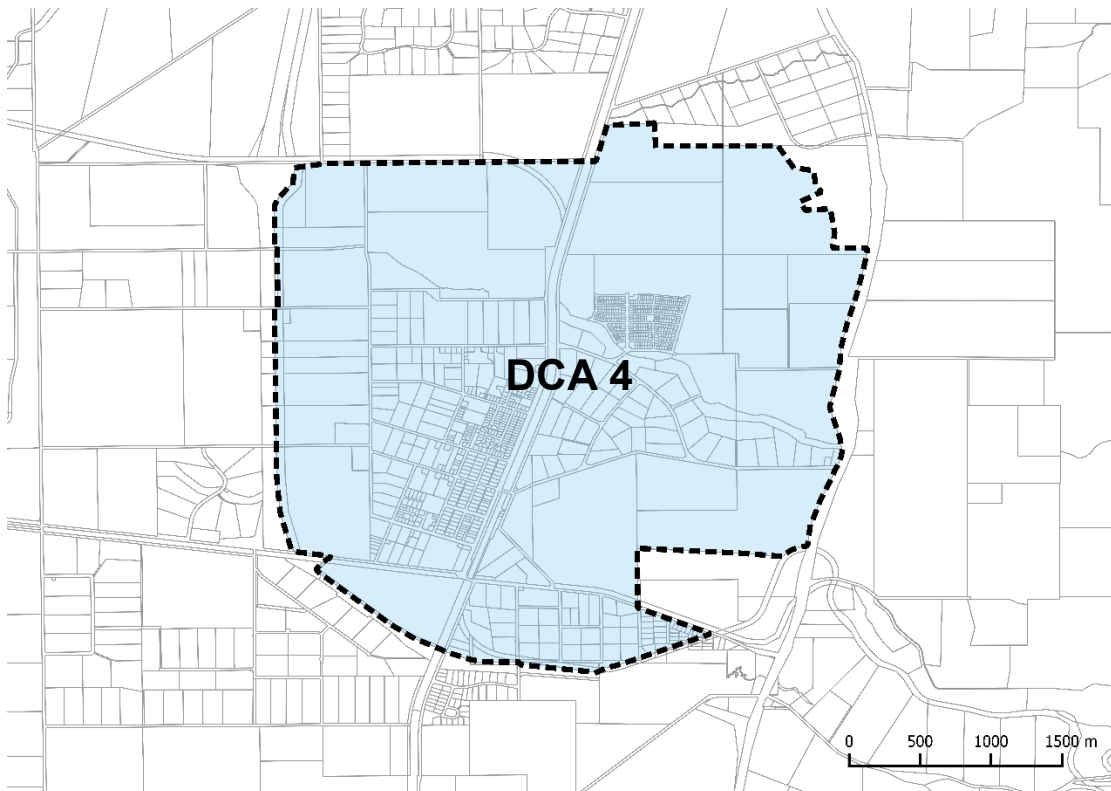
Appendix 6: Community Infrastructure Cost Contribution Schedule for DCA4

## Appendix 1

### Byford Development Contribution Area 4



### Mundijong Development Contribution Area 4



## Appendix 2: Need and Nexus for Community Infrastructure Items

Ref	Project Description
B01	Byford Library & Multi-Agency Service Centre - Building
B02	Briggs Park Pavilion
B03	Briggs Park Youth Centre
B04	Briggs Park Recreation Centre Extension
B05	Orton Road District Sport Space - Building & Lights
B06	Byford Skate Park - Extension and Pump Track
B07	Cardup Brook Themed Playground - Nature Play
B08	Lindt Street Themed Playground - Adventure Playground
B09	The Glades District Community Facility - Building
B10	Kalimna Sporting Reserve - Ovals, Building & Lights
M01	Whitby District Sports Space - Building & Lights
M02	Mundijong Whitby Skate Park & Pump Track
M03	Keirnan Park Recreation Centre Extension
M04	Mundijong Whitby Library & Multi-Agency Service Centre - Building
M05	Mundijong Themed Playground - Dog Park
M06	Keirnan Park Youth Centre
M07	Whitby Themed Playground - Adventure Playground
M08	Mundijong District Community Facility - Building
M09	Mundijong District Sporting Space – Building & Lights
M10	Mundijong Themed Playground - Nature Play
M11	Keirnan Park District Sporting Space – Ovals, Building & Lights (Stage 3)
S01	Keirnan Park BMX relocation and State Facility (Stage 2)
S02	Keirnan Park Outdoor Aquatic Centre (Stage 6)

## B01: Byford Library & Multi-Agency Service Centre - Building

CATEGORY
<p><b>District</b></p> <p>The development of the Byford Library will provide a specific service to the Byford Precinct.</p>
<p><b>PROPOSAL</b></p> <p><i>(Note: this is the original scope of works on gazettal of the item, scope of items might expand over time but the expanded scope is not covered by this CIDCP)</i></p>
<p>The proposal is to construct a 2 storey facility with a floor area of 1000m<sup>2</sup> that will include a library, small meeting rooms, break out spaces and function hall. The provision for an outdoor area, a function hall, children's activity and local history space integrated within a town centre is preferred by the Community. The Multi Agency Service Centre component will provide specific services not available elsewhere in the Shire of Serpentine Jarrahdale.</p> <p>Refer to Appendix 3 – Community Infrastructure Facilities Costing Tables and the GHD Woodhouse Designs following this table.</p>
NEED AND NEXUS
<p>The Shire's population growth justifies a district facility within the Byford Precinct in addition to a larger facility in Mundijong. Community consultation indicated a strong preference for the Byford library to be adjacent to the shopping centre. The facility would function effectively as part of a multi-functional community hub (to incorporate cafes, community centre, community care, etc).</p> <p>The 2015/16 budget allocated funding for a feasibility study for a library in Byford. This study indicated an immediate need for a library in Byford. The provision of a Library and Multi Agency Service Centre in Byford is not currently being met. The Shire's population growth justifies a district facility within the Byford Precinct.</p> <p>Normative Need - Australian Early Development Index (AEDI) of the Serpentine Jarrahdale area indicates children being developmentally vulnerable in communication skills and general knowledge, language and cognitive skills, emotional maturity, social competence, physical health and wellbeing. The provision of a library and multi-agency service in Byford would support an improvement in early development of children.</p> <p>Situating a library in Byford is justified by the number of Byford area residents who have memberships at the Armadale Library, which is a substantial number per population as indicated through the Community Facility Feasibility Study for a library in Byford dated 2016. The provision of a library within close proximity to the more densely populated area of Byford go towards supporting the intellectual and social wellbeing of this community.</p> <p>The Mary Davies Library in Baldivis is an example of successful integration of a library in a town centre. The floor area is 1000m<sup>2</sup> including small meeting rooms and break out spaces. Additionally, there is a function hall that is booked out through</p>

library staff, which generates revenue that assists with sustaining the library services. To minimise the footprint, the development is multi-storey. A similar concept is appropriate for the Byford Library. According to benchmarks, 1000m2 of library space is appropriate with additional floor area for a district community centre / function hall above or adjacent to the library. Functional spaces that the local community prefer include an outdoor area, a functional hall, children's activity space and local history. The idea of an incorporated café similar to the arrangement at the Kwinana Public Library and the Dome has also received positive feedback.
<b>EXPECTED DELIVERY DATE</b>
Refer to Appendix 4 - Population Forecast and Growth Potential per area
<b>COST</b> <i>(Note: where scope has changed since gazettal of item – this cost is only based on the original scope)</i>
Refer to Appendix 3 – Community Infrastructure Facilities Costing Tables.
<b>SOURCE</b>
Community Infrastructure Implementation Plan.



## B02: Briggs Park Pavilion

CATEGORY
<p><b>District</b></p> <p>This proposed development has been located centrally on site so that it can serve Byford as a component of the Briggs Park Recreational Precinct.</p>
<p><b>PROPOSAL</b></p> <p><i>(Note: this is the original scope of works on gazettal of the item, scope of items might expand over time but the expanded scope is not covered by this CIDCP)</i></p> <p>Construction of a new pavilion located centrally between the two ovals at the Briggs Park Recreational Facility to satisfy the needs of the increasing popularity of the local sporting clubs.</p> <p>The proposed development will be the construction of a two-storey building, offering vantage points across both ovals and public facilities to accommodate spectators.</p> <p>Refer to Appendix 3 – Community Infrastructure Facilities Costing Tables and the GHD Woodhouse Designs following this table.</p>
<p><b>NEED AND NEXUS</b></p> <p>There is a need to bring the Pavilion facilities up to standard for senior sporting use with appropriate club infrastructure including change rooms, function capability and spectators.</p> <p>The pavilion is utilised almost all year round and is the only independent sporting precinct within Byford. Currently all others are ‘shared use’ playing fields.</p> <p>Development of a new sports pavilion, constructed between the existing two ovals will allow for the refurbishment of the current pavilion, which would then function as a Youth Centre.</p>
<p><b>EXPECTED DELIVERY DATE</b></p> <p>Refer to Appendix 4 - Population Forecast and Growth Potential per area.</p>
<p><b>COST</b></p> <p><i>(Note: where scope has changed since gazettal of item – this cost is only based on the original scope)</i></p> <p>Refer to Appendix 3 – Community Infrastructure Facilities Costing Tables.</p>
<p><b>SOURCE</b></p> <p>Community Infrastructure Implementation Plan.</p>

## B03: Briggs Park Youth Centre

CATEGORY
<p><b>District</b></p> <p>This facility will service the youth within the Byford Precinct, an urban area catering for many young families with children.</p>
<p><b>PROPOSAL</b></p> <p><i>(Note: this is the original scope of works on gazettal of the item, scope of items might expand over time but the expanded scope is not covered by this CIDCP)</i></p> <p>The Youth Centre will consist of a kitchen and training area, multi-functional store, ablutions, music studio, recording room, breakout space/quiet space, four counselling rooms, an agency room, staff room, multi-functional room, bin store and a lobby/info booth.</p> <p>Refer to Appendix 3 – Community Infrastructure Facilities Costing Tables and the GHD Woodhouse Designs following this table.</p>
NEED AND NEXUS
<p>The need for a Youth Centre has been identified by the Community as a high priority and the current Briggs Park Pavilion within the Briggs Park Recreation Precinct has been recognised as the best placed location as it is situated across the road from two high schools and alongside the Byford Skate Park.</p> <p>The current Briggs Park Youth space is in poor condition and needs redevelopment, prompting the Shire to explore the concept of a new stand-alone pavilion and redevelopment of the current building to suit the needs as a Youth Centre.</p> <p>The planned Youth Centre is part of the Briggs Park Recreation Precinct. It has been identified as a high priority for various community groups. The prescribed location currently functions as Briggs Park Pavilion. Construction will commence only once the new sporting pavilion is built.</p>
EXPECTED DELIVERY DATE
<p>Refer to Appendix 4 - Population Forecast and Growth Potential per area.</p>
<p><b>COST</b></p> <p><i>(Note: where scope has changed since gazettal of item – this cost is only based on the original scope)</i></p> <p>Refer to Appendix 3 – Community Infrastructure Facilities Costing Tables.</p>
SOURCE
<p>Community Infrastructure Implementation Plan.</p>

## B04: Briggs Park Recreation Centre Extension

CATEGORY
<p><b>District</b></p> <p>The facility will provide for the Byford urban area and adjacent hinterland.</p>
<p><b>PROPOSAL</b></p> <p><i>(Note: this is the original scope of works on gazettal of the item, scope of items might expand over time but the expanded scope is not covered by this CIDCP)</i></p> <p>There is a current gap in indoor sport and recreational facilities within both Byford and Mundijong. The current facility in Byford already needs an upgrade whereas the one in Mundijong will be constructed when the population triggers are reached.</p> <p>The proposal is to construct an extension to the current facility that satisfies the needs of the growing community for an indoor recreational facility.</p> <p>Indoor court recreational facilities are currently under-provided. The expansion of the Serpentine Jarrahdale Recreation Centre will allow for four indoor courts (multi use basketball and netball) in addition to the current two, in order to meet current and future community demands.</p> <p>Refer to Appendix 3 – Community Infrastructure Facilities Costing Tables and the GHD Woodhouse Designs following this table.</p>
NEED AND NEXUS
<p>There is a current gap in indoor court facilities within the Shire of Serpentine Jarrahdale. To address projected growth within the vicinity of the Serpentine Jarrahdale Recreation Centre, an extension to the current Serpentine Jarrahdale Recreation Centre (located on Briggs Park reserve), would alleviate this gap and add to the health and wellbeing of the local and wider community.</p>
EXPECTED DELIVERY DATE
<p>Refer to Appendix 4 - Population Forecast and Growth Potential per area.</p>
<p><b>COST</b></p> <p><i>(Note: where scope has changed since gazettal of item – this cost is only based on the original scope)</i></p> <p>Refer to Appendix 3 – Community Infrastructure Facilities Costing Tables.</p>
SOURCE
<p>AECOM Community Infrastructure Plan – Research Appendixes.</p>

## B05: Orton Road District Sport Space – Building & Lights

CATEGORY
<p><b>District</b></p> <p>This facility will service the existing and future local residents of the Byford and surrounding areas.</p>
PROPOSAL
<p><i>(Note: this is the original scope of works on gazettal of the item, scope of items might expand over time but the expanded scope is not covered by this CIDCP)</i></p> <p>The immediate need of the Byford/Oakford community can be met through the provision of a district sports space at Orton Road. This site could serve the whole precinct by accommodating two senior sized ovals, parking and a club facility. There is an opportunity to integrate solutions at the site to ensure long-term water availability and sports space for community benefit. Implementation options include capture and re-use, and capture, treatment, and aquifer recharge.</p> <p>Refer to Appendix 3 – Community Infrastructure Facilities Costing Tables and the GHD Woodhouse Designs following this table.</p>
NEED AND NEXUS
<p>As the only other District Open Space and a key support to Briggs Park, this scenario is of critical importance in meeting the community's expressed need for adequately sized sporting space in Byford. The facility will provide the 'missing' district sporting space that is required due to the increased density and population in the Byford area.</p>
EXPECTED DELIVERY DATE
<p>Refer to Appendix 4 - Population Forecast and Growth Potential per area.</p>
COST
<p><i>(Note: where scope has changed since gazettal of item – this cost is only based on the original scope)</i></p> <p>Refer to Appendix 3 – Community Infrastructure Facilities Costing Tables.</p>
SOURCE
<p>Community Infrastructure Implementation Plan.</p>

## B06: Byford Skate Park – Extension & Pump Track

CATEGORY
<p><b>District</b></p> <p>This will be the only facility of its kind within the Byford precinct and will be an extension of the current Stage 1.</p>
<p><b>PROPOSAL</b></p> <p><i>(Note: this is the original scope of works on gazettal of the item, scope of items might expand over time but the expanded scope is not covered by this CIDCP)</i></p> <p>The proposal is for an extension of the existing skate park and a pump track, readily accessible to the growing community.</p> <p>Refer to Appendix 3 – Community Infrastructure Facilities Costing Tables and the GHD Woodhouse Designs following this table.</p>
<p><b>NEED AND NEXUS</b></p> <p>The need for youth facilities in the Byford Briggs Park precinct is considerable. The allocated site for a skate park is the northeast corner of Briggs Park. The development of a youth precinct and the provision of youth services from this location is highly desirable, taking advantage of existing facilities in the area already servicing youth (recreation centre and playing fields) and proximity to schools. The site has optimal access and facilitates passive surveillance, supporting Crime prevention through environmental design (CPTED) principles.</p> <p>Stage 1 of this development is already complete and proving to be an asset to the Byford area. It is well located, being sited close to areas already servicing youth (recreation centre and playing fields, proximity to schools).</p> <p>The need is high for Stage 2 of this facility to meet the demand of the expected youth population growth as already reflected in the number of primary and secondary educational facilities supplied within in the surrounding area. The precinct plan also includes a pump track.</p>
<p><b>EXPECTED DELIVERY DATE</b></p> <p>Refer to Appendix 4 - Population Forecast and Growth Potential per area.</p>
<p><b>COST</b></p> <p><i>(Note: where scope has changed since gazettal of item – this cost is only based on the original scope)</i></p> <p>Refer to Appendix 3 – Community Infrastructure Facilities Costing Tables.</p>
<p><b>SOURCE</b></p> <p>Community Infrastructure Implementation Plan.</p>

## B07: Cardup Brook Themed Playground – Nature Play

CATEGORY
<b>District</b> This facility will service the existing and future local residents of the Byford and surrounding areas.
<b>PROPOSAL</b> <i>(Note: this is the original scope of works on gazettal of the item, scope of items might expand over time but the expanded scope is not covered by this CIDCP)</i>
Refer to Appendix 3 – Community Infrastructure Facilities Costing Tables and the GHD Woodhouse Designs following this table.
NEED AND NEXUS
This playground will allow the children of residents to recreate and have fun. It will contain a nature space that is themed on the environment of Byford and its surrounds.
EXPECTED DELIVERY DATE
Refer to Appendix 4 - Population Forecast and Growth Potential per area.
<b>COST</b> <i>(Note: where scope has changed since gazettal of item – this cost is only based on the original scope)</i>
Refer to Appendix 3 – Community Infrastructure Facilities Costing Tables.
SOURCE
Community Infrastructure Implementation Plan.



## B08: Lindt Street Themed Playground – Adventure Playground

CATEGORY
<p><b>District</b></p> <p>This facility will service the existing and future local residents of the Byford and surrounding areas.</p>
<p><b>PROPOSAL</b></p> <p><i>(Note: this is the original scope of works on gazettal of the item, scope of items might expand over time but the expanded scope is not covered by this CIDCP)</i></p> <p>Nature spaces provide a setting where people can enjoy nearby nature and protect local biodiversity and natural area values. Nature spaces provide opportunity for low-impact recreational activities, such as walking, cycling, picnicking, playing and watching or exploring natural features. Nature spaces may include bushland, coastal areas, wetlands and riparian habitats, and geological and natural features. Sites are managed to enable recreational access while protecting local ecological and biodiversity values.</p> <p>Refer to Appendix 3 – Community Infrastructure Facilities Costing Tables and the GHD Woodhouse Designs following this table.</p>
NEED AND NEXUS
<p>The adventure playground will provide a much needed facility for recreation within the village centre precinct of the Glades.</p>
EXPECTED DELIVERY DATE
<p>Refer to Appendix 4 - Population Forecast and Growth Potential per area.</p>
<p><b>COST</b></p> <p><i>(Note: where scope has changed since gazettal of item – this cost is only based on the original scope)</i></p> <p>Refer to Appendix 3 – Community Infrastructure Facilities Costing Tables.</p>
SOURCE
<p>Community Infrastructure Implementation Plan.</p>

## B09: The Glades District Community Facility – Building

CATEGORY
<b>District</b> This facility will service the existing and future local residents of the Byford area.
<b>PROPOSAL</b> <i>(Note: this is the original scope of works on gazettal of the item, scope of items might expand over time but the expanded scope is not covered by this CIDCP)</i>
<p>To construct a multi-functional community facility that includes a range of usable spaces suitable for public gatherings, meeting rooms, technical laboratories, office space and specialized welfare services.</p> <p>Refer to Appendix 3 – Community Infrastructure Facilities Costing Tables and the GHD Woodhouse Designs following this table.</p>
NEED AND NEXUS
<p>The need for an additional community facility within the urban density of Byford is represented by current venues being continuously utilized.</p> <p>The current and future population within the area indicate the need for family support services within the community hub. This would be provided by the collaborative multi-agency space within this facility.</p>
EXPECTED DELIVERY DATE
Refer to Appendix 4 - Forecasted Population Growth, Cost Apportionment and Project Timing.
<b>COST</b> <i>(Note: where scope has changed since gazettal of item – this cost is only based on the original scope)</i>
Refer to Appendix 3 – Community Infrastructure Facilities Costing Tables.
SOURCE
AECOM Community Infrastructure Plan – Research Appendixes.

## B10: Kalimna Sporting Reserve – Ovals, Building & Lights

CATEGORY
<p><b>District</b></p> <p>This will serve the needs of existing and future residents within the Byford area and will encompass a rectangular sports field and athletics track.</p>
<p><b>PROPOSAL</b></p> <p><i>(Note: this is the original scope of works on gazettal of the item, scope of items might expand over time but the expanded scope is not covered by this CIDCP)</i></p> <p>Kalimna Sporting Reserve is proposed as an athletics track and soccer space. There is a shared use agreement in place with the school. There is the current need for the extension of the oval, additional car parking and a pavilion which has the potential for a full size athletics track (183m x 110m) and 3 senior soccer fields. This would require the expansion of open space to the east. The design maintains some buffer areas and additional grassed space close to the primary school. It allows for the development of a future clubhouse and additional parking.</p> <p>Refer to Appendix 3 – Community Infrastructure Facilities Costing Tables and the GHD Woodhouse Designs following this table.</p>
<p><b>NEED AND NEXUS</b></p> <p>There is a current need for the extension of the oval, additional parking and a pavilion. This would allow a district level athletics full size track and three senior rectangular fields (soccer, rugby, hockey) for which there is no current provision within the Shire of Serpentine Jarrahdale.</p>
<p><b>EXPECTED DELIVERY DATE</b></p> <p>Refer to Appendix 4 - Population Forecast and Growth Potential per area.</p>
<p><b>COST</b></p> <p><i>(Note: where scope has changed since gazettal of item – this cost is only based on the original scope)</i></p> <p>Refer to Appendix 3 – Community Infrastructure Facilities Costing Tables.</p>
<p><b>SOURCE</b></p> <p>Community Infrastructure Implementation Plan.</p>

## M01: Whitby District Sport Space – Building & Lights

CATEGORY
<b>District</b> This facility will service the existing and future local residents of the Mundijong-Whitby and surrounding areas.
PROPOSAL
<i>(Note: this is the original scope of works on gazettal of the item, scope of items might expand over time but the expanded scope is not covered by this CIDCP)</i>
Refer to Appendix 3 – Community Infrastructure Facilities Costing Tables and the GHD Woodhouse Designs following this table.
NEED AND NEXUS
The need for an additional district sporting space is indicated through the population forecast for the area of Mundijong/Whitby. It is expected that by 2026 the current facility standards will not meet community requirements.
EXPECTED DELIVERY DATE
Refer to Appendix 4 - Population Forecast and Growth Potential per area.
COST
<i>(Note: where scope has changed since gazettal of item – this cost is only based on the original scope)</i>
Refer to Appendix 3 – Community Infrastructure Facilities Costing Tables.
SOURCE
Community Infrastructure Implementation Plan.

## M02: Mundijong Whitby Skate Park & Pump Track

CATEGORY
<b>District</b> This facility will service the existing and future local residents of the Mundijong and surrounding areas.
<b>PROPOSAL</b> <i>(Note: this is the original scope of works on gazettal of the item, scope of items might expand over time but the expanded scope is not covered by this CIDCP)</i>
<p>Community support facilities for the growing younger generation are required to build active and connected communities. The location will create a vibrant plaza area with passive surveillance, and would cater for skating, scooter and BMX trends alongside development of a multi-use area to include skateable architecture and pathways.</p> <p>Refer to Appendix 3 – Community Infrastructure Facilities Costing Tables and the GHD Woodhouse Designs following this table.</p>
<b>NEED AND NEXUS</b>
<p>Mundijong's growing population will create the demand for a district size skate park to replace the current one that is much used.</p>
<b>EXPECTED DELIVERY DATE</b>
<p>Refer to Appendix 4 - Population Forecast and Growth Potential per area.</p>
<b>COST</b> <i>(Note: where scope has changed since gazettal of item – this cost is only based on the original scope)</i>
<p>Refer to Appendix 3 – Community Infrastructure Facilities Costing Tables.</p>
<b>SOURCE</b>
<p>Community Infrastructure Implementation Plan.</p>

## M03: Keirnan Park Recreation Centre Extension

CATEGORY
<p><b>District</b></p> <p>This facility will service the existing and future local residents of the southern portion of the Shire of Serpentine Jarrahdale.</p>
<p><b>PROPOSAL</b></p> <p><i>(Note: this is the original scope of works on gazettal of the item, scope of items might expand over time but the expanded scope is not covered by this CIDCP)</i></p> <p>The facility will be a multi-functional, sport recreation and community meeting place. A minimum 4-6 court multi-use basketball / netball facility (with ancillary changing room space including ancillary storage, café, offices, reception, changing, gymnasium/fitness component etc.)</p> <p>Refer to Appendix 3 – Community Infrastructure Facilities Costing Tables and the GHD Woodhouse Designs following this table.</p>
NEED AND NEXUS
<p>The facility will be the similar to the Byford Recreation Centre and will cater for a residential population of 50,000 in Byford. The Recreation Centre will be required as stated in the AECOM Community Infrastructure Plan – Research Appendixes at a trigger of around 50,000 residents and will be constructed to cater for a range of activities as indicated in the plans provided in the GHD Woodhouse Designs.</p>
EXPECTED DELIVERY DATE
<p>Refer to Appendix 4 - Population Forecast and Growth Potential per area.</p>
<p><b>COST</b></p> <p><i>(Note: where scope has changed since gazettal of item – this cost is only based on the original scope)</i></p> <p>Refer to Appendix 3 – Community Infrastructure Facilities Costing Tables.</p>
SOURCE
<p>AECOM Community Infrastructure Plan – Research Appendixes.</p>



## M04: Mundijong Whitby Library & Multi-Agency Service Centre - Building

CATEGORY
<b>District</b> This facility will service the existing and future local residents of the southern portion of the Shire of Serpentine Jarrahdale.
<b>PROPOSAL</b> <i>(Note: this is the original scope of works on gazettal of the item, scope of items might expand over time but the expanded scope is not covered by this CIDCP)</i>
The new library will be a multi-functional learning and cultural centre. There is also the potential to develop a community hub incorporating the library and multi-agency/family services.  Refer to Appendix 3 – Community Infrastructure Facilities Costing Tables.
NEED AND NEXUS
The need for the development of Mundijong Whitby Library & Multi-Agency Service Centre is great, as the current library has reached capacity. The current facility is too small and unable to offer the community the same trends, technology and resources provided by other libraries.
EXPECTED DELIVERY DATE
Refer to Appendix 4 - Population Forecast and Growth Potential per area.
<b>COST</b> <i>(Note: where scope has changed since gazettal of item – this cost is only based on the original scope)</i>
Refer to Appendix 3 – Community Infrastructure Facilities Costing Tables.
SOURCE
Community Infrastructure Implementation Plan.

## M05: Mundijong Themed Playground – Dog Park

CATEGORY
<b>District</b> This facility will service the existing and future local residents of the Mundijong / Whitby and surrounding areas.
<b>PROPOSAL</b> <i>(Note: this is the original scope of works on gazettal of the item, scope of items might expand over time but the expanded scope is not covered by this CIDCP)</i>
To develop a dog park with a range of agility equipment, grassed free ball-play area and convenient seating for owners in a landscaped environment.  Refer to Appendix 3 – Community Infrastructure Facilities Costing Tables and the GHD Woodhouse Designs following this table.
<b>NEED AND NEXUS</b>
The need to supply a dog park for the area of Mundijong-Whitby will become more apparent with the increase in the urban area population growth. The supply of this dog park will encourage health and wellness benefits for the community. The provision of a dog park will allow the local canine community to be better socialized, resulting in a decrease in the level of troublesome behaviour.
<b>EXPECTED DELIVERY DATE</b>
Refer to Appendix 4 - Population Forecast and Growth Potential per area.
<b>COST</b> <i>(Note: where scope has changed since gazettal of item – this cost is only based on the original scope)</i>
Refer to Appendix 3 – Community Infrastructure Facilities Costing Tables.
<b>SOURCE</b>
Community Infrastructure Implementation Plan

## M06: Keirnan Park Youth Centre

CATEGORY
<b>District</b> The facility will primarily serve residents in the southern portions of the shire around Mundijong.
<b>PROPOSAL</b> <i>(Note: this is the original scope of works on gazettal of the item, scope of items might expand over time but the expanded scope is not covered by this CIDCP)</i>
Youth spaces are regarded as being of a high priority by the community and by the various youth agencies in the metropolitan region. The prescribed location is in the Keirnan Park Recreation Precinct, once the new sporting pavilion is built.  Refer to Appendix 3 – Community Infrastructure Facilities Costing Tables and the GHD Woodhouse Designs following this table.
NEED AND NEXUS
There will be a future need for a Youth Centre within Mundijong to meet the needs of the growing community and the proposed Keirnan Park has been identified due to its central location within the Shire. The facilities will be similar to those in Byford.
EXPECTED DELIVERY DATE
Refer to Appendix 4 - Population Forecast and Growth Potential per area.
<b>COST</b> <i>(Note: where scope has changed since gazettal of item – this cost is only based on the original scope)</i>
Refer to Appendix 3 – Community Infrastructure Facilities Costing Tables.
SOURCE
Community Infrastructure Implementation Plan.

## M07: Whitby Themed Playground – Adventure Playground

CATEGORY
<b>District</b> This facility will service the local existing and future residents of the Mundijong-Whitby and surrounding areas.
<b>PROPOSAL</b> <i>(Note: this is the original scope of works on gazettal of the item, scope of items might expand over time but the expanded scope is not covered by this CIDCP)</i>
Refer to Appendix 3 – Community Infrastructure Facilities Costing Tables and the GHD Woodhouse Designs following this table.
NEED AND NEXUS
The need for an adventure themed playground is indicated through the relatively young demographic profile of the area which highlights the importance of providing facilities for young families and for children's activities in particular.
EXPECTED DELIVERY DATE
Refer to Appendix 4 - Population Forecast and Growth Potential per area.
<b>COST</b> <i>(Note: where scope has changed since gazettal of item – this cost is only based on the original scope)</i>
Refer to Appendix 3 – Community Infrastructure Facilities Costing Tables.
SOURCE
Community Infrastructure Implementation Plan.

## M08: Mundijong District Community Facility - Building

CATEGORY
<b>District</b> This facility will service the existing and future local residents of the Mundijong and surrounding areas.
PROPOSAL
<i>(Note: this is the original scope of works on gazettal of the item, scope of items might expand over time but the expanded scope is not covered by this CIDCP)</i>
Refer to Appendix 3 – Community Infrastructure Facilities Costing Tables and the GHD Woodhouse Designs following this table.
NEED AND NEXUS
The need for a district community centre will be triggered by the development of the Mundijong-Whitby area.
EXPECTED DELIVERY DATE
Refer to Appendix 4 - Population Forecast and Growth Potential per area.
COST
<i>(Note: where scope has changed since gazettal of item – this cost is only based on the original scope)</i>
Refer to Appendix 3 – Community Infrastructure Facilities Costing Tables.
SOURCE
Community Infrastructure Implementation Plan.

## M09: Mundijong District Sport Space – Building & Lights

CATEGORY
<b>District</b> This facility will service the existing and future local residents of the Mundijong and surrounding areas.
PROPOSAL
<i>(Note: this is the original scope of works on gazettal of the item, scope of items might expand over time but the expanded scope is not covered by this CIDCP)</i>
Refer to Appendix 3 – Community Infrastructure Facilities Costing Tables and the GHD Woodhouse Designs following this table.
NEED AND NEXUS
The growing population will require the development of the Whitby District Sport Space to satisfy the local active sporting and recreational needs of the community within close proximity to the proposed Whitby and Mundijong High Schools.
EXPECTED DELIVERY DATE
Refer to Appendix 4 – Population Forecast and Growth Potential per area.
COST
<i>(Note: where scope has changed since gazettal of item – this cost is only based on the original scope)</i>
Refer to Appendix 3 – Community Infrastructure Facilities Costing Tables.
SOURCE
Community Infrastructure Implementation Plan



## M10: Mundijong Themed Playground – Nature Play

CATEGORY
<b>District</b> The Keirnan Park Recreation Precinct development will meet the recreation needs of the whole Shire but this is required for Mundijong residents as Byford will have their own facility.
<b>PROPOSAL</b> <i>(Note: this is the original scope of works on gazettal of the item, scope of items might expand over time but the expanded scope is not covered by this CIDCP)</i>
Refer to Appendix 3 – Community Infrastructure Facilities Costing Tables and the GHD Woodhouse Designs following this table.
<b>NEED AND NEXUS</b>
This playground will allow the children of residents to recreate and have fun. It will contain a nature space that is themed on the environment of Mundijong and its surrounds.
<b>EXPECTED DELIVERY DATE</b>
Refer to Appendix 4 - Population Forecast and Growth Potential per area.
<b>COST</b> <i>(Note: where scope has changed since gazettal of item – this cost is only based on the original scope)</i>
Refer to Appendix 3 – Community Infrastructure Facilities Costing Tables.
<b>SOURCE</b>
Community Infrastructure Implementation Plan.

## M11: Keirnan Park District Sport Space – Ovals, Building & Lights (Stage 3)

CATEGORY
<b>District</b> The Keirnan Park Recreation Precinct development will meet the sporting needs of the whole Shire.
<b>PROPOSAL</b> <i>(Note: this is the original scope of works on gazettal of the item, scope of items might expand over time but the expanded scope is not covered by this CIDCP)</i>
Refer to Appendix 3 – Community Infrastructure Facilities Costing Tables and the GHD Woodhouse Designs following this table.
NEED AND NEXUS
There is a need for a multi-use sporting complex within the Shire of Serpentine Jarrahdale. The construction of this site, strategically located in the centre of the Shire, will alleviate pressure on Byford and provide the opportunity to accommodate specific sports facilities.
EXPECTED DELIVERY DATE
Refer to Appendix 4 - Forecasted Population Growth, Cost Apportionment and Project Timing.
<b>COST</b> <i>(Note: where scope has changed since gazettal of item – this cost is only based on the original scope)</i>
Refer to Appendix 3 – Community Infrastructure Facilities Costing Tables.
SOURCE
Community Infrastructure Implementation Plan.

## S01: Keirnan Park BMX relocation & State Facility (Stage 2)

CATEGORY
<p><b>District</b></p> <p>This will be the sole facility to serve the needs of existing and future residents within the whole of the Shire of Serpentine Jarrahdale and nationally.</p>
<p><b>PROPOSAL</b></p> <p><i>(Note: this is the original scope of works on gazettal of the item, scope of items might expand over time but the expanded scope is not covered by this CIDCP)</i></p> <p>To relocate and further develop the Byford BMX facility into a State Facility at the proposed Keirnan Sports Precinct. This satisfies the needs of the District and State residents, providing for increased competition opportunities and community health benefits for the growing population of the Shire of Serpentine Jarrahdale.</p> <p>The proposed development will be undertaken in stages and includes site works, servicing infrastructure extension, construction of a clubhouse administration centre, main car parking area and associated facilities.</p> <p>Refer to Appendix 3 – Community Infrastructure Facilities Costing Tables and the GHD Woodhouse Designs following this table.</p>
NEED AND NEXUS
<p>There is demand for one competition standard BMX track to service the Shire. The current BMX track is located at Briggs Park Recreation Precinct, and is preventing the site from further development.</p> <p>In its current location, the BMX track will not be able to adequately meet the needs of the wider community into the future as there is a need for a BMX Pump Track within the Shire to cater for senior and junior competitors.</p> <p>Keirnan Park Recreation Precinct is centrally located for the construction of a new track to attract members from all across the Shire. Adequate lighting provision, parking and a clubhouse administration centre with storage will need consideration as part of concept plans and designs.</p> <p>It has been identified through the process of the Serpentine Jarrahdale Community Infrastructure Plan, as the provision standards and the diversity of activities is needed for youth within the precinct area of Mundijong/Whitby. The supply of a State competition grade BMX track will go towards economically activating the Shire of Serpentine Jarrahdale.</p>
EXPECTED DELIVERY DATE
Refer to Appendix 4 - Population Forecast and Growth Potential per area.
<p><b>COST</b></p> <p><i>(Note: where scope has changed since gazettal of item – this cost is only based on the original scope)</i></p>
Refer to Appendix 3 – Community Infrastructure Facilities Costing Tables.
SOURCE
Community Infrastructure Implementation Plan.

## S02: Keirnan Park Outdoor Aquatic Centre (Stage 6)

CATEGORY
<p><b>Shire Wide</b></p> <p>This will be the sole facility to serve the needs of existing and future residents within the whole of the Shire of Serpentine Jarrahdale.</p>
<b>PROPOSAL</b> <i>(Note: this is the original scope of works on gazettal of the item, scope of items might expand over time but the expanded scope is not covered by this CIDCP)</i>
<p>The facility will provide a range of services:</p> <ul style="list-style-type: none"> <li>• Accommodate a strong and robust learn to swim program</li> <li>• Provide water based exercise programs for health and rehabilitation purposes; and</li> <li>• Offer a range of water play experiences</li> </ul> <p>Refer to Appendix 3 – Community Infrastructure Facilities Costing Tables and the GHD Woodhouse Designs following this table.</p>
NEED AND NEXUS
<p>The need for an aquatic centre in the Shire of Serpentine Jarrahdale, lends itself to a range of considerations, including health and wellbeing, community safety, water sense and safety, quality of life and supports both a young and ageing population where water based activities are highly valued.</p> <p>Local governments currently play an important role in promoting water safety within communities, and as such, access to a learn to swim space is important. There is a growing recognition of the benefits non-weight bearing exercise, especially for mature age people. This provides a strong argument for a facility that caters for learn to swim and water based exercise.</p> <p>The final element to be considered is provision for water play. This is in some way the non-essential “fun stuff” that gets added when the primary function has been taken care of, but importantly it adds to the appeal and viability of the centre. Water features, play areas and specialist fun equipment can all be added to a basic learn to swim and water exercise space, dependent upon the extent of the budget. Consequently, in the immediate to medium term, the priority for the Shire should be to provide an aquatic facility that can:</p> <ul style="list-style-type: none"> <li>• Accommodate a strong and robust learn to swim program</li> <li>• Provide water based exercise programs for health and rehabilitation purposes; and</li> <li>• Offer a range of water play experiences (tailored to budget).</li> </ul> <p>The facility should be operated year-round and co-located with other leisure facilities to extend the leisure experience and community development function.</p>

The only logical option of locating an aquatic centre with an existing facility is in Keirnan Park Recreation Centre.
<b>EXPECTED DELIVERY DATE</b>
Refer to Appendix 4 - Population Forecast and Growth Potential per area.
<b>COST</b> <i>(Note: where scope has changed since gazettal of item – this cost is only based on the original scope)</i>
Refer to Appendix 3 – Community Infrastructure Facilities Costing Tables.
<b>SOURCE</b>
Community Infrastructure and Public Open Space Strategy. Community Infrastructure Implementation Plan.

## Appendix 3: Community Infrastructure Concept Design and Costings

The costings in this section **are based** on the GHD Woodhead Concept Designs and RBB Costings that are attached to the end of this Appendix. The designs and costs have not been transferred directly and are based on the requirements of the individual areas. In some instances, such as for the Briggs Park pavilion that has a unique setting and requirements, there is a specific design.

A list of the designs used in the CIDCP are indicated below:

Ref	Project Description	Design & Concepts based on
B01	Byford Library & Multi-Agency Service Centre - Building	Library and Multi-Purpose Service Centre - RBB
B02	Briggs Park Pavilion	Briggs Park Pavilion - RBB
B03	Briggs Park Youth Centre	Briggs Park Youth Centre / Briggs Park Youth Centre Refurbishment
B04	Briggs Park Recreation Centre Extension	Keirnan Park Recreation Precinct Stage 6 Building 2 - Indoor Recreation Centre
B05	Orton Road District Sport Space - Building & Lights	Orton Road – District Sport Space / Orton Road - District Sports Space and Orton Road – District Sport Space Pavilion
B06	Byford Skate Park - Extension and Pump Track	Byford Skate Park Stage 2 / Byford Park – Stage 1 and Byford Park Stage 2
B07	Cardup Brook Themed Playground - Nature Play	Keirnan Park Recreation Precinct Stage 1
B08	Lindt Street Themed Playground - Adventure Playground	Keirnan Park Recreation Precinct Stage 1
B09	The Glades District Community Facility - Building	District Community Centre
B10	Kalimna Sporting Reserve - Ovals, Building & Lights	District Sport Space / Reilly Road District Sports Space and Reilly Road Sports Space Pavilion
M01	Whitby District Sports Space - Building & Lights	District Sport Space / Reilly Road District Sports Space and Reilly Road Sports Space Pavilion
M02	Mundijong Whitby Skate Park & Pump Track	Mundijong Whitby District Skate Park
M03	Kiernan Park Recreation Centre Extension	Keirnan Park Recreation Precinct
M04	Mundijong Whitby Library & Multi-Agency Service Centre - Building	Library and Multi-Agency Service Centre
M05	Mundijong Themed Playground - Dog Park	Keirnan Park Recreation Precinct Stage 1
M06	Kiernan Park Youth Centre	Briggs Park Youth Centre
M07	Whitby Themed Playground - Adventure Playground	Keirnan Park Recreation Precinct Stage 1
M08	Mundijong District Community Facility - Building	District Community Centre

### Appendix 3: CIDCP Concept Design and Costings

M09	Mundijong District Sporting Space – Building & Lights	District Sport Space / Reilly Road District Sports Space and Reilly Road Sports Space Pavilion
M10	Mundijong Themed Playground - Nature Play	Keirnan Park Recreation Precinct Stage 1
M11	Kiernan Park District Sporting Space – Ovals, Building & Lights (Stage 3)	Keirnan Park Recreation Precinct
S01	Kiernan Park BMX relocation and State Facility (Stage 2)	Keirnan Park Recreation Precinct
S02	Kiernan Park Outdoor Aquatic Centre (Stage 6)	Keirnan Park Recreation Precinct

Community Infrastructure Projects Summary Table

Ref	Project Description	Design & Concepts based on	Catchment	Shire Funding	Community Development Contribution Plan		Total Costs	Community DCP Funding			Shire Funding
					Mundijong-Whitby	Byford		Mundijong-Whitby	Byford	Total DCP Funding	
B01	Byford Library & Multi-Agency Service Centre - Building	Library and Multi-Purpose Service Centre - RBB	Byford	39%	0%	61%	\$ 8,440,567	\$ -	\$ 5,148,746.07	\$ 5,148,746.07	\$ 3,291,821.26
B02	Briggs Park Pavilion	Briggs Park Pavilion - RBB	Byford	39%	0%	61%	\$ 4,545,128	\$ -	\$ 2,772,528.20	\$ 2,772,528.20	\$ 1,772,599.99
B03	Briggs Park Youth Centre	Briggs Park Youth Centre / Briggs Park Youth Centre Refurbishment	Byford	39%	0%	61%	\$ 3,256,000	\$ -	\$ 1,986,160.00	\$ 1,986,160.00	\$ 1,269,840.00
B04	Briggs Park Recreation Centre Extension	Keirnan Park Recreation Precinct Stage 6 Building 2 - Indoor Recreation Centre	Byford	39%	0%	61%	\$ 8,347,481	\$ -	\$ 5,091,963.20	\$ 5,091,963.20	\$ 3,255,517.45
B05	Orton Road District Sport Space - Building & Lights	Orton Road – District Sport Space / Orton Road - District Sports Space and Orton Road – District Sport Space Pavilion	Byford	39%	0%	61%	\$ 4,365,537	\$ -	\$ 2,662,977.72	\$ 2,662,977.72	\$ 1,702,559.52
B06	Byford Skate Park - Extension and Pump Track	Byford Skate Park Stage 2 / Byford Park – Stage 1 and Byford Park Stage 2	Byford	39%	0%	61%	\$ 1,852,974	\$ -	\$ 1,130,314.34	\$ 1,130,314.34	\$ 722,659.99
B07	Cardup Brook Themed Playground - Nature Play	Keirnan Park Recreation Precinct Stage 1	Byford	39%	0%	61%	\$ 1,637,408	\$ -	\$ 998,818.98	\$ 998,818.98	\$ 638,589.18
B08	Lindt Street Themed Playground - Adventure Playground	Keirnan Park Recreation Precinct Stage 1	Byford	39%	0%	61%	\$ 1,637,408	\$ -	\$ 998,818.98	\$ 998,818.98	\$ 638,589.18
B09	The Glades District Community Facility - Building	District Community Centre	Byford	39%	0%	61%	\$ 4,003,274	\$ -	\$ 2,441,997.05	\$ 2,441,997.05	\$ 1,561,276.80
B10	Kalimna Sporting Reserve - Ovals, Building & Lights	District Sport Space / Reilly Road District Sports Space and Reilly Road Sports Space Pavilion	Byford	39%	0%	61%	\$ 4,858,026	\$ -	\$ 2,963,395.80	\$ 2,963,395.80	\$ 1,894,630.10
M01	Whitby District Sports Space - Building & Lights	District Sport Space / Reilly Road District Sports Space and Reilly Road Sports Space Pavilion	Mundijong	5%	95%	0%	\$ 2,888,486	\$ 2,744,061.61	\$ -	\$ 2,744,061.61	\$ 144,424.30
M02	Mundijong Whitby Skate Park & Pump Track	Mundijong Whitby District Skate Park	Mundijong	5%	95%	0%	\$ 4,283,801	\$ 4,069,611.26	\$ -	\$ 4,069,611.26	\$ 214,190.07
M03	Kiernan Park Recreation Centre Extension	Keirnan Park Recreation Precinct	Mundijong	5%	95%	0%	\$ 22,397,414	\$ 21,277,543.15	\$ -	\$ 21,277,543.15	\$ 1,119,870.69
M04	Mundijong Whitby Library & Multi-Agency Service Centre - Building	Library and Multi-Agency Service Centre	Mundijong	5%	95%	0%	\$ 8,440,567	\$ 8,018,538.96	\$ -	\$ 8,018,538.96	\$ 422,028.37
M05	Mundijong Themed Playground - Dog Park	Keirnan Park Recreation Precinct Stage 1	Mundijong	5%	95%	0%	\$ 1,637,408	\$ 1,555,537.76	\$ -	\$ 1,555,537.76	\$ 81,870.41
M06	Kiernan Park Youth Centre	Briggs Park Youth Centre	Mundijong	5%	95%	0%	\$ 3,176,142	\$ 3,017,335.28	\$ -	\$ 3,017,335.28	\$ 158,807.12
M07	Whitby Themed Playground - Adventure Playground	Keirnan Park Recreation Precinct Stage 1	Mundijong	5%	95%	0%	\$ 1,637,408	\$ 1,555,537.76	\$ -	\$ 1,555,537.76	\$ 81,870.41
M08	Mundijong District Community Facility - Building	District Community Centre	Mundijong	5%	95%	0%	\$ 4,003,274	\$ 3,803,110.16	\$ -	\$ 3,803,110.16	\$ 200,163.69
M09	Mundijong District Sporting Space – Building & Lights	District Sport Space / Reilly Road District Sports Space and Reilly Road Sports Space Pavilion	Mundijong	5%	95%	0%	\$ 2,888,486	\$ 2,744,061.61	\$ -	\$ 2,744,061.61	\$ 144,424.30
M10	Mundijong Themed Playground - Nature Play	Keirnan Park Recreation Precinct Stage 1	Mundijong	5%	95%	0%	\$ 1,637,408	\$ 1,555,537.76	\$ -	\$ 1,555,537.76	\$ 81,870.41
M11	Kiernan Park District Sporting Space – Ovals, Building & Lights (Stage 3)	Keirnan Park Recreation Precinct	Mundijong	5%	95%	0%	\$ 11,876,845	\$ 11,283,002.28	\$ -	\$ 11,283,002.28	\$ 593,842.23
S01	Kiernan Park BMX relocation and State Facility (Stage 2)	Keirnan Park Recreation Precinct	Shire-Wide	21%	50%	29%	\$ 5,260,787	\$ 2,630,393.46	\$ 1,525,628.21	\$ 4,156,021.67	\$ 1,104,765.25
S02	Kiernan Park Outdoor Aquatic Centre (Stage 6)	Keirnan Park Recreation Precinct	Shire-Wide	21%	50%	29%	\$ 6,980,464	\$ 3,490,232.20	\$ 2,024,334.68	\$ 5,514,566.88	\$ 1,465,897.52
	Totals						\$ 120,052,295	\$ 67,744,503	\$ 29,745,683	\$ 97,490,186	\$ 22,562,108



### **B01 Byford Library & Multi-Agency Service Centre - Building**

Item	Shire Funding	Community Infrastructure Development Contribution Plan		Total
		Mundijong-Whitby	Byford	
<b>Proportional Share</b>	<b>39%</b>	<b>0%</b>	<b>61%</b>	<b>100%</b>
Building	\$2,123,433	\$0	\$3,321,267	\$5,444,700
Landscaping	\$65,385	\$0	\$102,270	\$167,655
External Services	\$48,571	\$0	\$75,969	\$124,540
Loose Furniture	\$140,400	\$0	\$219,600	\$360,000
Fees & Charges @ 30.6%	\$697,361	\$0	\$1,090,744	\$1,788,105
Parking	\$100,445	\$0	\$157,106	\$257,550
<b>Total</b>	<b>\$3,175,595</b>	<b>\$0</b>	<b>\$4,966,956</b>	<b><u>\$8,142,550</u></b>

<i>Indexing to July 2019 @ 3.66%</i>	\$116,227	\$0	\$181,791	\$298,017
<b>Total pre-GST</b>	\$3,291,821	\$0	\$5,148,746	<b><u>\$8,440,567</u></b>
<i>GST (not applicable)</i>	\$0	\$0	\$0	\$0
<b>GRAND TOTAL</b>	<b>\$3,291,821</b>	<b>\$0</b>	<b>\$5,148,746</b>	<b><u>\$8,440,567</u></b>

<b>Parking Calculations</b>	<b>Units</b>
Building Size	2,372
15 % for Service Areas	356
Gross Leaseable Floor Area	2,016
Car Parking @ 20 / GLA sqm	101
Cost per unit parking	\$2,550

## B02 Briggs Park Pavilion

Item	Shire Funding	Community Infrastructure Development Contribution Plan		Total
		Mundijong-Whitby	Byford	
<b>Proportional Share</b>	<b>39%</b>	<b>0%</b>	<b>61%</b>	<b>100%</b>
Building	\$982,293	\$0	\$1,536,407	\$2,518,700
Landscaping	\$182,660	\$0	\$285,700	\$468,360
External Services	\$43,969	\$0	\$68,771	\$112,740
Loose Furniture	\$78,000	\$0	\$122,000	\$200,000
Fees & Charges @ 30.6%	\$380,328	\$0	\$594,872	\$975,200
Parking	\$42,764	\$0	\$66,887	\$109,650
<b>Total</b>	<b>\$1,710,014</b>	<b>\$0</b>	<b>\$2,674,637</b>	<b><u>\$4,384,650</u></b>

<i>Indexing to July 2019 @ 3.66%</i>	\$62,586	\$0	\$97,892	\$160,478
<b>Total pre-GST</b>	\$1,772,600	\$0	\$2,772,528	<b><u>\$4,545,128</u></b>
<i>GST (not applicable)</i>	\$0	\$0	\$0	\$0
<b>GRAND TOTAL</b>	<b>\$1,772,600</b>	<b>\$0</b>	<b>\$2,772,528</b>	<b><u>\$4,545,128</u></b>

<b>Parking Calculations</b>	<b>Units</b>
Building Size	1,000
15 % for Service Areas	150
Gross Leaseable Floor Area	850
Car Parking @ 20 / GLA sqm	43
Cost per unit parking	\$2,550

### **B03 Briggs Park Youth Centre**

Item	Shire Funding	Community Infrastructure Development Contribution Plan		Total
		Mundijong-Whitby	Byford	
<b>Proportional Share</b>	<b>39%</b>	<b>0%</b>	<b>61%</b>	<b>100%</b>
Building	\$751,150	\$0	\$1,174,875	\$1,926,025
Landscaping	\$49,140	\$0	\$76,860	\$126,000
External Services	\$13,260	\$0	\$20,740	\$34,000
Loose Furniture	\$50,700	\$0	\$79,300	\$130,000
Fees & Charges @ 30.6%	\$251,150	\$0	\$392,825	\$643,975
Parking	\$79,560	\$0	\$124,440	\$204,000
<b>Total</b>	<b>\$1,194,960</b>	<b>\$0</b>	<b>\$1,869,040</b>	<b>\$3,064,000</b>

<i>Indexing to July 2019 @ 3.66%</i>	\$43,736	\$0	\$68,407	\$112,142
<b>Total pre-GST</b>	\$1,238,696	\$0	\$1,937,447	<b>\$3,176,142</b>
<i>GST (not applicable)</i>	\$0	\$0	\$0	\$0
<b>GRAND TOTAL</b>	<b>\$1,238,696</b>	<b>\$0</b>	<b>\$1,937,447</b>	<b><u>\$3,176,142</u></b>

<b>Parking Calculations</b>	<b>Units</b>
Building Size	1,882
15 % for Service Areas	282
Gross Leaseable Floor Area	1,600
Car Parking @ 20 / GLA sqm	80
Cost per unit parking	\$2,550

### B04 Briggs Park Recreation Centre Extension

Item	Shire Funding	Community Infrastructure Development Contribution Plan		Total
		Mundijong-Whitby	Byford	
<b>Proportional Share</b>	<b>39%</b>	<b>0%</b>	<b>61%</b>	<b>100%</b>
Building	\$2,340,000	\$0	\$3,660,000	\$6,000,000
Landscaping	\$0	\$0	\$0	\$0
External Services	\$0	\$0	\$0	\$0
Loose Furniture	\$0	\$0	\$0	\$0
Fees & Charges @ 30.6%	\$716,040	\$0	\$1,119,960	\$1,836,000
Parking	\$84,533	\$0	\$132,218	\$216,750
<b>Total</b>	<b>\$3,140,573</b>	<b>\$0</b>	<b>\$4,912,178</b>	<b>\$8,052,750</b>

<i>Indexing to July 2019 @ 3.66%</i>	\$114,945	\$0	\$179,786	\$294,731
<b>Total pre-GST</b>	\$3,255,517	\$0	\$5,091,963	<b>\$8,347,481</b>
<i>GST (not applicable)</i>	\$0	\$0	\$0	\$0
<b>GRAND TOTAL</b>	<b>\$3,255,517</b>	<b>\$0</b>	<b>\$5,091,963</b>	<b><u>\$8,347,481</u></b>

<b>Parking Calculations</b>	<b>Units</b>
Building Size	2,000
15 % for Service Areas	300
Gross Leaseable Floor Area	1,700
Car Parking @ 20 / GLA sqm	85
Cost per unit parking	\$2,550

### **B05 Orton Road District Sport Space - Building & Lights**

Item	Shire Funding	Community Infrastructure Development Contribution Plan		Total
		Mundijong-Whitby	Byford	
<b>Proportional Share</b>	<b>39%</b>	<b>0%</b>	<b>61%</b>	<b>100%</b>
Building	\$624,312	\$0	\$976,488	\$1,600,800
Landscaping	\$99,850	\$0	\$156,175	\$256,025
External Services	\$40,248	\$0	\$62,952	\$103,200
Oval Lighting	\$561,600	\$0	\$878,400	\$1,440,000
Loose Furniture	\$46,800	\$0	\$73,200	\$120,000
Fees & Charges @ 30.6%	\$241,790	\$0	\$378,185	\$619,975
Parking	\$27,846	\$0	\$43,554	\$71,400
<b>Total</b>	<b>\$1,642,446</b>	<b>\$0</b>	<b>\$2,568,954</b>	<b>\$4,211,400</b>

<i>Indexing to July 2019 @ 3.66%</i>	\$60,114	\$0	\$94,024	\$154,137
<b>Total pre-GST</b>	\$1,702,560	\$0	\$2,662,978	<b>\$4,365,537</b>
<i>GST (not applicable)</i>	\$0	\$0	\$0	\$0
<b><u>GRAND TOTAL</u></b>	<b>\$1,702,560</b>	<b>\$0</b>	<b>\$2,662,978</b>	<b><u>\$4,365,537</u></b>

<b>Parking Calculations</b>	<b>Units</b>
Building Size	660
15 % for Service Areas	99
Gross Leaseable Floor Area	561
Car Parking @ 20 / GLA sqm	28
Cost per unit parking	\$2,550

### **B06 Byford Skate Park - Extension and Pump Track**

Item	Shire Funding	Community Infrastructure Development Contribution Plan		Total
		Mundijong-Whitby	Byford	
<b>Proportional Share</b>	<b>39%</b>	<b>0%</b>	<b>61%</b>	<b>100%</b>
Construction	\$440,731	\$0	\$689,349	\$1,130,080
Landscaping	\$0	\$0	\$0	Included
External Services	\$0	\$0	\$0	Included
Loose Furniture	\$15,600	\$0	\$24,400	\$40,000
Fees & Charges @ 30.6%	\$140,369	\$0	\$219,551	\$359,920
Parking	\$100,445	\$0	\$157,106	\$257,550
<b>Total</b>	<b>\$697,145</b>	<b>\$0</b>	<b>\$1,090,406</b>	<b>\$1,787,550</b>

<i>Indexing to July 2019 @ 3.66%</i>	\$25,515	\$0	\$39,909	\$65,424
<b>Total pre-GST</b>	\$722,660	\$0	\$1,130,314	<b>\$1,852,974</b>
<i>GST (not applicable)</i>	\$0	\$0	\$0	\$0
<b>GRAND TOTAL</b>	<b>\$722,660</b>	<b>\$0</b>	<b>\$1,130,314</b>	<b><u>\$1,852,974</u></b>

<b>Parking Calculations</b>	<b>Units</b>
Building Size	2,372
15 % for Service Areas	356
Gross Leaseable Floor Area	2,016
Car Parking @ 20 / GLA sqm	101
Cost per unit parking	\$2,550

### **B07 Cardup Brook Themed Playground - Nature Play**

Item	Shire Funding	Community Infrastructure Development Contribution Plan		Total
		Mundijong-Whitby	Byford	
<b>Proportional Share</b>	<b>39%</b>	<b>0%</b>	<b>61%</b>	<b>100%</b>
Adventure/Nature/Dog Playground	\$123,973	\$0	\$193,907	\$317,880
Extra over for playground equipment	\$19,500	\$0	\$30,500	\$50,000
Picnic Area	\$221,060	\$0	\$345,760	\$566,820
Extra Over for covered BBQs	\$23,400	\$0	\$36,600	\$60,000
Landscaping	\$45,427	\$0	\$71,053	\$116,480
Protected natural area	\$15,497	\$0	\$24,238	\$39,735
<i>Fees &amp; Charges @ 30.6%</i>	\$137,350	\$0	\$214,830	\$352,180
Parking	\$29,835	\$0	\$46,665	\$76,500
<b>Total</b>	<b>\$616,042</b>	<b>\$0</b>	<b>\$963,553</b>	<b>\$1,579,595</b>

<i>Indexing to July 2019 @ 3.66%</i>	\$22,547	\$0	\$35,266	\$57,813
<b>Total pre-GST</b>	\$638,589	\$0	\$998,819	<b>\$1,637,408</b>
<i>GST (not applicable)</i>	\$0	\$0	\$0	\$0
<b>GRAND TOTAL</b>	<b>\$638,589</b>	<b>\$0</b>	<b>\$998,819</b>	<b><u>\$1,637,408</u></b>

<b>Parking Calculations</b>	<b>Units</b>
Building Size	700
15 % for Service Areas	105
Gross Leaseable Floor Area	595
Car Parking @ 20 / GLA sqm	30
Cost per unit parking	\$2,550

### **B08 Lindt Street Themed Playground - Adventure Playground**

Item	Shire Funding	Community Infrastructure Development Contribution Plan		Total
		Mundijong-Whitby	Byford	
<b>Proportional Share</b>	<b>39%</b>	<b>0%</b>	<b>61%</b>	<b>100%</b>
Adventure/Nature/Dog Playground	\$123,973	\$0	\$193,907	\$317,880
Extra over for playground equipment	\$19,500	\$0	\$30,500	\$50,000
Picnic Area	\$221,060	\$0	\$345,760	\$566,820
Extra Over for covered BBQs	\$23,400	\$0	\$36,600	\$60,000
Landscaping	\$45,427	\$0	\$71,053	\$116,480
Protected natural area	\$15,497	\$0	\$24,238	\$39,735
<i>Fees &amp; Charges @ 30.6%</i>	\$137,350	\$0	\$214,830	\$352,180
Parking	\$29,835	\$0	\$46,665	\$76,500
<b>Total</b>	<b>\$616,042</b>	<b>\$0</b>	<b>\$963,553</b>	<b>\$1,579,595</b>

<i>Indexing to July 2019 @ 3.66%</i>	\$22,547	\$0	\$35,266	\$57,813
<b>Total pre-GST</b>	\$638,589	\$0	\$998,819	<b>\$1,637,408</b>
<i>GST (not applicable)</i>	\$0	\$0	\$0	\$0
<b>GRAND TOTAL</b>	<b>\$638,589</b>	<b>\$0</b>	<b>\$998,819</b>	<b><u>\$1,637,408</u></b>

<b>Parking Calculations</b>	<b>Units</b>
Building Size	700
15 % for Service Areas	105
Gross Leaseable Floor Area	595
Car Parking @ 20 / GLA sqm	30
Cost per unit parking	\$2,550



### **B09 The Glades District Community Facility - Building**

Item	Shire Funding	Community Infrastructure Development Contribution Plan		Total
		Mundijong-Whitby	Byford	
<b>Proportional Share</b>	<b>39%</b>	<b>0%</b>	<b>61%</b>	<b>100%</b>
Building	\$863,226	\$0	\$1,350,174	\$2,213,400
Landscaping	\$162,722	\$0	\$254,515	\$417,237
External Services	\$29,560	\$0	\$46,234	\$75,794
Loose Furniture	\$65,765	\$0	\$102,863	\$168,629
Fees & Charges @ 30.6%	\$343,110	\$0	\$536,659	\$879,768
Parking	\$41,769	\$0	\$65,331	\$107,100
<b>Total</b>	<b>\$1,506,152</b>	<b>\$0</b>	<b>\$2,355,776</b>	<b>\$3,861,927</b>

<i>Indexing to July 2019 @ 3.66%</i>	\$55,125	\$0	\$86,221	\$141,347
<b>Total pre-GST</b>	\$1,561,277	\$0	\$2,441,997	<b>\$4,003,274</b>
<i>GST (not applicable)</i>	\$0	\$0	\$0	\$0
<b>GRAND TOTAL</b>	<b>\$1,561,277</b>	<b>\$0</b>	<b>\$2,441,997</b>	<b>\$4,003,274</b>

<b>Parking Calculations</b>	<b>Units</b>
Building Size	983
15 % for Service Areas	147
Gross Leaseable Floor Area	836
Car Parking @ 20 / GLA sqm	42
Cost per unit parking	\$2,550

### B10 Kalimna Sporting Reserve - Ovals, Building & Lights

Item	Shire Funding	Community Infrastructure Development Contribution Plan		Total
		Mundijong-Whitby	Byford	
<b>Proportional Share</b>	<b>39%</b>	<b>0%</b>	<b>61%</b>	<b>100%</b>
Oval expansion 2 Ha @ \$95 m2	\$741,000	\$0	\$1,159,000	\$1,900,000
Building	\$444,054	\$0	\$694,546	\$1,138,600
Landscaping	\$81,136	\$0	\$126,904	\$208,040
External Services	\$38,665	\$0	\$60,475	\$99,140
Oval Lighting	\$280,800	\$0	\$439,200	\$720,000
Loose Furniture	\$35,100	\$0	\$54,900	\$90,000
Fees & Charges @ 30.6%	\$177,146	\$0	\$277,074	\$454,220
Parking	\$29,835	\$0	\$46,665	\$76,500
<b>Total</b>	<b>\$1,827,735</b>	<b>\$0</b>	<b>\$2,858,765</b>	<b>\$4,686,500</b>

Indexing to July 2019 @ 3.66%	\$66,895	\$0	\$104,631	\$171,526
<b>Total pre-GST</b>	<b>\$1,894,630</b>	<b>\$0</b>	<b>\$2,963,396</b>	<b>\$4,858,026</b>
GST (not applicable)	\$0	\$0	\$0	\$0
<b>GRAND TOTAL</b>	<b>\$1,894,630</b>	<b>\$0</b>	<b>\$2,963,396</b>	<b>\$4,858,026</b>

<b>Parking Calculations</b>	<b>Units</b>
Building Size	700
15 % for Service Areas	105
Gross Leaseable Floor Area	595
Car Parking @ 20 / GLA sqm	30
Cost per unit parking	\$2,550

### M01 Whitby District Sports Space - Building & Lights

Item	Shire Funding	Community Infrastructure Development Contribution Plan		Total
		Mundijong-Whitby	Byford	
<b>Proportional Share</b>	<b>5%</b>	<b>95%</b>	<b>0%</b>	<b>100%</b>
Building	\$56,930	\$1,081,670	\$0	\$1,138,600
Landscaping	\$10,402	\$197,638	\$0	\$208,040
External Services	\$4,957	\$94,183	\$0	\$99,140
Oval Lighting	\$36,000	\$684,000	\$0	\$720,000
Loose Furniture	\$4,500	\$85,500	\$0	\$90,000
Fees & Charges @ 30.6%	\$22,711	\$431,509	\$0	\$454,220
Parking	\$3,825	\$72,675	\$0	\$76,500
<b>Total</b>	<b>\$139,325</b>	<b>\$2,647,175</b>	<b>\$0</b>	<b>\$2,786,500</b>

<i>Indexing to July 2019 @ 3.66%</i>	\$5,099	\$96,887	\$0	\$101,986
<b>Total pre-GST</b>	\$144,424	\$2,744,062	\$0	<b>\$2,888,486</b>
<i>GST (not applicable)</i>	\$0	\$0	\$0	\$0
<b>GRAND TOTAL</b>	<b>\$144,424</b>	<b>\$2,744,062</b>	<b>\$0</b>	<b>\$2,888,486</b>

<b>Parking Calculations</b>	<b>Units</b>
Building Size	700
15 % for Service Areas	105
Gross Leaseable Floor Area	595
Car Parking @ 20 / GLA sqm	30
Cost per unit parking	\$2,550

## M02 Mundijong Whitby Skate Park & Pump Track

Item	Shire Funding	Community Infrastructure Development Contribution Plan		Total
		Mundijong-Whitby	Byford	
<b>Proportional Share</b>	<b>5%</b>	<b>95%</b>	<b>0%</b>	<b>100%</b>
Construction	\$111,570	\$2,119,821	\$0	\$2,231,390
Landscaping	\$19,477	\$370,063	\$0	\$389,540
External Services	\$17,250	\$327,750	\$0	\$345,000
Loose Furniture	\$0	\$0	\$0	\$0
Fees & Charges @ 30.6%	\$45,454	\$863,617	\$0	\$909,070
Parking	\$12,878	\$244,673	\$0	\$257,550
<b>Total</b>	<b>\$206,628</b>	<b>\$3,925,923</b>	<b>\$0</b>	<b>\$4,132,550</b>

<i>Indexing to July 2019 @ 3.66%</i>	\$7,563	\$143,689	\$0	\$151,251
<b>Total pre-GST</b>	\$214,190	\$4,069,611	\$0	<b>\$4,283,801</b>
<i>GST (not applicable)</i>	\$0	\$0	\$0	\$0
<b><u>GRAND TOTAL</u></b>	<b>\$214,190</b>	<b>\$4,069,611</b>	<b>\$0</b>	<b><u>\$4,283,801</u></b>

<b>Parking Calculations</b>	<b>Units</b>
Building Size	2,372
15 % for Service Areas	356
Gross Leaseable Floor Area	2,016
Car Parking @ 20 / GLA sqm	101
Cost per unit parking	\$2,550

### M03 Kiernan Park Recreation Centre Extension

Item	Shire Funding	Community Infrastructure Development Contribution Plan		Total
		Mundijong-Whitby	Byford	
<b>Proportional Share</b>	<b>5%</b>	<b>95%</b>	<b>0%</b>	<b>100%</b>
Building	\$750,000	\$14,250,000	\$0	\$15,000,000
Landscaping	\$38,918	\$739,447	\$0	\$778,365
External Services	\$17,493	\$332,367	\$0	\$349,860
Loose Furniture	\$0	\$0	\$0	\$0
Fees & Charges @ 30.6%	\$246,762	\$4,688,475	\$0	\$4,935,237
Parking	\$27,158	\$515,993	\$0	\$543,150
<b>Total</b>	<b>\$1,080,331</b>	<b>\$20,526,281</b>	<b>\$0</b>	<b>\$21,606,612</b>

<i>Indexing to July 2019 @ 3.66%</i>	\$39,540	\$751,262	\$0	\$790,802
<b>Total pre-GST</b>	\$1,119,871	\$21,277,543	\$0	<b>\$22,397,414</b>
<i>GST (not applicable)</i>	\$0	\$0	\$0	\$0
<b>GRAND TOTAL</b>	<b>\$1,119,871</b>	<b>\$21,277,543</b>	<b>\$0</b>	<b><u>\$22,397,414</u></b>

<b>Parking Calculations</b>	<b>Units</b>
Building Size	5,000
15 % for Service Areas	750
Gross Leaseable Floor Area	4,250
Car Parking @ 20 / GLA sqm	213
Cost per unit parking	\$2,550

### M04 Mundijong Whitby Library & Multi-Agency Service Centre - Building

Item	Shire Funding	Community Infrastructure Development Contribution Plan		Total
		Mundijong-Whitby	Byford	
<b>Proportional Share</b>	<b>5%</b>	<b>95%</b>	<b>0%</b>	<b>100%</b>
Building	\$272,235	\$5,172,465	\$0	\$5,444,700
Landscaping	\$8,383	\$159,272	\$0	\$167,655
External Services	\$6,227	\$118,313	\$0	\$124,540
Loose Furniture	\$18,000	\$342,000	\$0	\$360,000
Fees & Charges @ 30.6%	\$89,405	\$1,698,700	\$0	\$1,788,105
Parking	\$12,878	\$244,673	\$0	\$257,550
<b>Total</b>	<b>\$407,128</b>	<b>\$7,735,423</b>	<b>\$0</b>	<b><u>\$8,142,550</u></b>

<i>Indexing to July 2019 @ 3.66%</i>	\$14,901	\$283,116	\$0	\$298,017
<b>Total pre-GST</b>	\$422,028	\$8,018,539	\$0	<b><u>\$8,440,567</u></b>
<i>GST (not applicable)</i>	\$0	\$0	\$0	\$0
<b>GRAND TOTAL</b>	<b>\$422,028</b>	<b>\$8,018,539</b>	<b>\$0</b>	<b><u>\$8,440,567</u></b>

<b>Parking Calculations</b>	<b>Units</b>
Building Size	2,372
15 % for Service Areas	356
Gross Leaseable Floor Area	2,016
Car Parking @ 20 / GLA sqm	101
Cost per unit parking	\$2,550

### M05 Mundijong Themed Playground - Dog Park

Item	Shire Funding	Community Infrastructure Development Contribution Plan		Total
		Mundijong-Whitby	Byford	
<b>Proportional Share</b>	<b>5%</b>	<b>95%</b>	<b>0%</b>	<b>100%</b>
Adventure/Nature/Dog Playground	\$15,894	\$301,986	\$0	\$317,880
Extra over for playground equipment	\$2,500	\$47,500	\$0	\$50,000
Picnic Area	\$28,341	\$538,479	\$0	\$566,820
Extra Over for covered BBQs	\$3,000	\$57,000	\$0	\$60,000
Landscaping	\$5,824	\$110,656	\$0	\$116,480
Protected natural area	\$1,987	\$37,748	\$0	\$39,735
<i>Fees &amp; Charges @ 30.6%</i>	\$17,609	\$334,571	\$0	\$352,180
Parking	\$3,825	\$72,675	\$0	\$76,500
<b>Total</b>	<b>\$78,980</b>	<b>\$1,500,615</b>	<b>\$0</b>	<b>\$1,579,595</b>

<i>Indexing to July 2019 @ 3.66%</i>	\$2,891	\$54,923	\$0	\$57,813
<b>Total pre-GST</b>	\$81,870	\$1,555,538	\$0	<b>\$1,637,408</b>
<i>GST (not applicable)</i>	\$0	\$0	\$0	\$0
<b>GRAND TOTAL</b>	<b>\$81,870</b>	<b>\$1,555,538</b>	<b>\$0</b>	<b><u>\$1,637,408</u></b>

<b>Parking Calculations</b>	<b>Units</b>
Building Size	700
15 % for Service Areas	105
Gross Leaseable Floor Area	595
Car Parking @ 20 / GLA sqm	30
Cost per unit parking	\$2,550

### M06 Kiernan Park Youth Centre

Item	Shire Funding	Community Infrastructure Development Contribution Plan		Total
		Mundijong-Whitby	Byford	
<b>Proportional Share</b>	<b>5%</b>	<b>95%</b>	<b>0%</b>	<b>100%</b>
Building	\$96,301	\$1,829,724	\$0	\$1,926,025
Landscaping	\$6,300	\$119,700	\$0	\$126,000
External Services	\$1,700	\$32,300	\$0	\$34,000
Loose Furniture	\$6,500	\$123,500	\$0	\$130,000
Fees & Charges @ 30.6%	\$32,199	\$611,776	\$0	\$643,975
Parking	\$10,200	\$193,800	\$0	\$204,000
<b>Total</b>	<b>\$153,200</b>	<b>\$2,910,800</b>	<b>\$0</b>	<b>\$3,064,000</b>

<i>Indexing to July 2019 @ 3.66%</i>	\$5,607	\$106,535	\$0	\$112,142
<b>Total pre-GST</b>	\$158,807	\$3,017,335	\$0	<b>\$3,176,142</b>
<i>GST (not applicable)</i>	\$0	\$0	\$0	\$0
<b>GRAND TOTAL</b>	<b>\$158,807</b>	<b>\$3,017,335</b>	<b>\$0</b>	<b><u>\$3,176,142</u></b>

<b>Parking Calculations</b>	<b>Units</b>
Building Size	1,882
15 % for Service Areas	282
Gross Leaseable Floor Area	1,600
Car Parking @ 20 / GLA sqm	80
Cost per unit parking	\$2,550



### M07 Whitby Themed Playground - Adventure Playground

Item	Shire Funding	Community Infrastructure Development Contribution Plan		Total
		Mundijong-Whitby	Byford	
<b>Proportional Share</b>	<b>5%</b>	<b>95%</b>	<b>0%</b>	<b>100%</b>
Adventure/Nature/Dog Playground	\$15,894	\$301,986	\$0	\$317,880
Extra over for playground equipment	\$2,500	\$47,500	\$0	\$50,000
Picnic Area	\$28,341	\$538,479	\$0	\$566,820
Extra Over for covered BBQs	\$3,000	\$57,000	\$0	\$60,000
Landscaping	\$5,824	\$110,656	\$0	\$116,480
Protected natural area	\$1,987	\$37,748	\$0	\$39,735
<i>Fees &amp; Charges @ 30.6%</i>	\$17,609	\$334,571	\$0	\$352,180
Parking	\$3,825	\$72,675	\$0	\$76,500
<b>Total</b>	<b>\$78,980</b>	<b>\$1,500,615</b>	<b>\$0</b>	<b>\$1,579,595</b>

<i>Indexing to July 2019 @ 3.66%</i>	\$2,891	\$54,923	\$0	\$57,813
<b>Total pre-GST</b>	\$81,870	\$1,555,538	\$0	<b>\$1,637,408</b>
<i>GST (not applicable)</i>	\$0	\$0	\$0	\$0
<b>GRAND TOTAL</b>	<b>\$81,870</b>	<b>\$1,555,538</b>	<b>\$0</b>	<b><u>\$1,637,408</u></b>

<b>Parking Calculations</b>	<b>Units</b>
Building Size	700
15 % for Service Areas	105
Gross Leaseable Floor Area	595
Car Parking @ 20 / GLA sqm	30
Cost per unit parking	\$2,550

### M08 Mundijong District Community Facility - Building

Item	Shire Funding	Community Infrastructure Development Contribution Plan		Total
		Mundijong-Whitby	Byford	
<b>Proportional Share</b>	<b>5%</b>	<b>95%</b>	<b>0%</b>	<b>100%</b>
Building	\$110,670	\$2,102,730	\$0	\$2,213,400
Landscaping	\$20,862	\$396,375	\$0	\$417,237
External Services	\$3,790	\$72,004	\$0	\$75,794
Loose Furniture	\$8,431	\$160,197	\$0	\$168,629
Fees & Charges @ 30.6%	\$43,988	\$835,780	\$0	\$879,768
Parking	\$5,355	\$101,745	\$0	\$107,100
<b>Total</b>	<b>\$193,096</b>	<b>\$3,668,831</b>	<b>\$0</b>	<b>\$3,861,927</b>

<i>Indexing to July 2019 @ 3.66%</i>	\$7,067	\$134,279	\$0	\$141,347
<b>Total pre-GST</b>	\$200,164	\$3,803,110	\$0	<b>\$4,003,274</b>
<i>GST (not applicable)</i>	\$0	\$0	\$0	\$0
<b>GRAND TOTAL</b>	<b>\$200,164</b>	<b>\$3,803,110</b>	<b>\$0</b>	<b>\$4,003,274</b>

<b>Parking Calculations</b>	<b>Units</b>
Building Size	983
15 % for Service Areas	147
Gross Leaseable Floor Area	836
Car Parking @ 20 / GLA sqm	42
Cost per unit parking	\$2,550

### M09 Mundijong District Sporting Space – Building & Lights

Item	Shire Funding	Community Infrastructure Development Contribution Plan		Total
		Mundijong-Whitby	Byford	
<b>Proportional Share</b>	<b>5%</b>	<b>95%</b>	<b>0%</b>	<b>100%</b>
Building	\$56,930	\$1,081,670	\$0	\$1,138,600
Landscaping	\$10,402	\$197,638	\$0	\$208,040
External Services	\$4,957	\$94,183	\$0	\$99,140
Oval Lighting	\$36,000	\$684,000	\$0	\$720,000
Loose Furniture	\$4,500	\$85,500	\$0	\$90,000
Fees & Charges @ 30.6%	\$22,711	\$431,509	\$0	\$454,220
Parking	\$3,825	\$72,675	\$0	\$76,500
<b>Total</b>	<b>\$139,325</b>	<b>\$2,647,175</b>	<b>\$0</b>	<b>\$2,786,500</b>

<i>Indexing to July 2019 @ 3.66%</i>	\$5,099	\$96,887	\$0	\$101,986
<b>Total pre-GST</b>	\$144,424	\$2,744,062	\$0	<b>\$2,888,486</b>
<i>GST (not applicable)</i>	\$0	\$0	\$0	\$0
<b>GRAND TOTAL</b>	<b>\$144,424</b>	<b>\$2,744,062</b>	<b>\$0</b>	<b>\$2,888,486</b>

<b>Parking Calculations</b>	<b>Units</b>
Building Size	700
15 % for Service Areas	105
Gross Leaseable Floor Area	595
Car Parking @ 20 / GLA sqm	30
Cost per unit parking	\$2,550

### M10 Mundijong Themed Playground - Nature Play

Item	Shire Funding	Community Infrastructure Development Contribution Plan		Total
		Mundijong-Whitby	Byford	
<b>Proportional Share</b>	<b>5%</b>	<b>95%</b>	<b>0%</b>	<b>100%</b>
Adventure/Nature/Dog Playground	\$15,894	\$301,986	\$0	\$317,880
Extra over for playground equipment	\$2,500	\$47,500	\$0	\$50,000
Picnic Area	\$28,341	\$538,479	\$0	\$566,820
Extra Over for covered BBQs	\$3,000	\$57,000	\$0	\$60,000
Landscaping	\$5,824	\$110,656	\$0	\$116,480
Protected natural area	\$1,987	\$37,748	\$0	\$39,735
<i>Fees &amp; Charges @ 30.6%</i>	\$17,609	\$334,571	\$0	\$352,180
Parking	\$3,825	\$72,675	\$0	\$76,500
<b>Total</b>	<b>\$78,980</b>	<b>\$1,500,615</b>	<b>\$0</b>	<b>\$1,579,595</b>

<i>Indexing to July 2019 @ 3.66%</i>	\$2,891	\$54,923	\$0	\$57,813
<b>Total pre-GST</b>	\$81,870	\$1,555,538	\$0	<b>\$1,637,408</b>
<i>GST (not applicable)</i>	\$0	\$0	\$0	\$0
<b>GRAND TOTAL</b>	<b>\$81,870</b>	<b>\$1,555,538</b>	<b>\$0</b>	<b><u>\$1,637,408</u></b>

<b>Parking Calculations</b>	<b>Units</b>
Building Size	700
15 % for Service Areas	105
Gross Leaseable Floor Area	595
Car Parking @ 20 / GLA sqm	30
Cost per unit parking	\$2,550

### M11 Kiernan Park District Sporting Space – Ovals, Building & Lights (Stage 3)

Item	Shire Funding	Community Infrastructure Development Contribution Plan		Total
		Mundijong-Whitby	Byford	
<b>Proportional Share</b>	<b>5%</b>	<b>95%</b>	<b>0%</b>	<b>100%</b>
Building	\$125,935	\$2,392,765	\$0	\$2,518,700
Ovals 6 hectares @ \$95m2	\$285,000	\$5,415,000	\$0	\$5,700,000
Landscaping	\$23,418	\$444,942	\$0	\$468,360
External Services	\$5,637	\$107,103	\$0	\$112,740
Loose Furniture	\$10,000	\$190,000	\$0	\$200,000
Oval Lighting	\$72,000	\$1,368,000	\$0	\$1,440,000
Fees & Charges @ 30.6%	\$48,760	\$926,440	\$0	\$975,200
Parking	\$2,125	\$40,375	\$0	\$42,500
<b>Total</b>	<b>\$572,875</b>	<b>\$10,884,625</b>	<b>\$0</b>	<b>\$11,457,500</b>

<i>Indexing to July 2019 @ 3.66%</i>	\$20,967	\$398,377	\$0	\$419,345
<b>Total pre-GST</b>	\$593,842	\$11,283,002	\$0	<b>\$11,876,845</b>
<i>GST (not applicable)</i>	\$0	\$0	\$0	\$0
<b>GRAND TOTAL</b>	<b>\$593,842</b>	<b>\$11,283,002</b>	<b>\$0</b>	<b><u>\$11,876,845</u></b>

<b>Parking Calculations</b>	<b>Units</b>
Building Size	1,000
15 % for Service Areas	150
Gross Leaseable Floor Area	850
Car Parking @ 20 / GLA sqm	43
Cost per unit parking	\$2,550

**S01 Kiernan Park BMX relocation and State Facility (Stage 2)**

Item	Shire Funding	Community Infrastructure Development Contribution Plan		Total
		Mundijong-Whitby	Byford	
<b>Proportional Share</b>	<b>21%</b>	<b>50%</b>	<b>29%</b>	<b>100%</b>
BMX Track Facility	\$533,190	\$1,269,500	\$736,310	\$2,539,000
Paving	\$84,752	\$201,790	\$117,038	\$403,580
Turfing	\$140,843	\$335,340	\$194,497	\$670,680
Landscaping	\$24,461	\$58,240	\$33,779	\$116,480
Fees & Charges @ 30.6%	\$239,673	\$570,650	\$330,977	\$1,141,300
Parking	\$42,840	\$102,000	\$59,160	\$204,000
<b>Total</b>	<b>\$1,065,758</b>	<b>\$2,537,520</b>	<b>\$1,471,762</b>	<b>\$5,075,040</b>

<i>Indexing to July 2019 @ 3.66%</i>	\$39,007	\$92,873	\$53,866	\$185,746
<b>Total pre-GST</b>	\$1,104,765	\$2,630,393	\$1,525,628	<b>\$5,260,787</b>
<i>GST (not applicable)</i>	\$0	\$0	\$0	\$0
<b>GRAND TOTAL</b>	<b>\$1,104,765</b>	<b>\$2,630,393</b>	<b>\$1,525,628</b>	<b><u>\$5,260,787</u></b>

<b>Parking Calculations</b>	<b>Units</b>
Building Size	1,882
15 % for Service Areas	282
Gross Leaseable Floor Area	1,600
Car Parking @ 20 / GLA sqm	80
Cost per unit parking	\$2,550

## S02 Kiernan Park Outdoor Aquatic Centre (Stage 6)

Item	Shire Funding	Community Infrastructure Development Contribution Plan		Total
		Mundijong-Whitby	Byford	
<b>Proportional Share</b>	<b>21%</b>	<b>50%</b>	<b>29%</b>	<b>100%</b>
50m Swimming Pool	\$378,000	\$900,000	\$522,000	\$1,800,000
Leisure Pool	\$157,500	\$375,000	\$217,500	\$750,000
Café	\$126,000	\$300,000	\$174,000	\$600,000
Change Rooms	\$126,000	\$300,000	\$174,000	\$600,000
Sundry Support Facilities	\$262,500	\$625,000	\$362,500	\$1,250,000
Fees & Charges @ 30.6%	\$321,300	\$765,000	\$443,700	\$1,530,000
Parking	\$42,840	\$102,000	\$59,160	\$204,000
<b>Total</b>	<b>\$1,414,140</b>	<b>\$3,367,000</b>	<b>\$1,952,860</b>	<b>\$6,734,000</b>

<i>Indexing to July 2019 @ 3.66%</i>	\$51,758	\$123,232	\$71,475	\$246,464
<b>Total pre-GST</b>	\$1,465,898	\$3,490,232	\$2,024,335	<b>\$6,980,464</b>
<i>GST (not applicable)</i>	\$0	\$0	\$0	\$0
<b>GRAND TOTAL</b>	<b>\$1,465,898</b>	<b>\$3,490,232</b>	<b>\$2,024,335</b>	<b>\$6,980,464</b>

Parking Calculations	Units
Building Size	1,882
15 % for Service Areas	282
Gross Leaseable Floor Area	1,600
Car Parking @ 20 / GLA sqm	80
Cost per unit parking	\$2,550

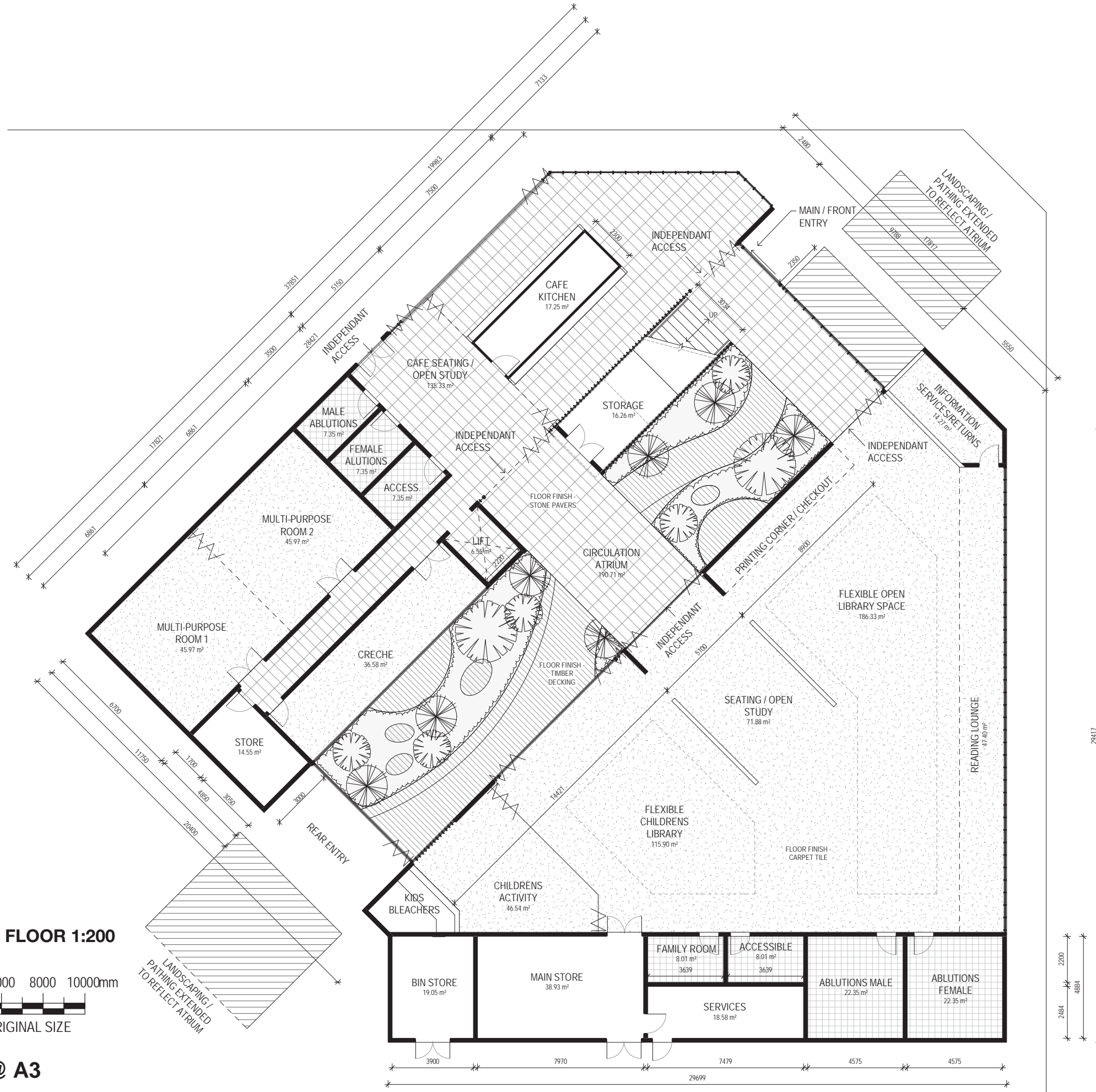
## **Final Concepts**

# **Shire of Serpentine Jarrahdale Community Infrastructure Projects**

Final Issue - 29 March 2018







OVERALL SITE SQM	Approx. 1750m <sup>2</sup>
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## OPTION 1

OVERALL GFA	Size (sqm)
Ground Floor	1315
First Floor	412
Total Approx:	1727

## OPTION 2

OVERALL GFA	Size (sqm)
Ground Floor	1315
First Floor with Expansion	1057
Total Approx:	2372

OVERALL FLOOR FINISHES GFA	Size (sqm)
Interior Stone Pavers	302
Timber Decking	76
Carpet	898
Tiling	110
Sealed Curbed Concrete	132
Landscaping	83

OVERALL FLOOR FINISHES GFA With Expansion	Size (sqm)
Interior Stone Pavers	417
Timber Decking	76
Carpet	1200
Tiling	176
Sealed Curbed Concrete	187
Landscaping	83

## NOTES:

1. Parking provisions not included as part of this concept plan sheet.
2. External lighting to new Library and Multi-Agency Service Centre included in the QS report.
3. Landscaping provisions included in the QS report.
4. Optional First Floor Expansion included in the QS report.

# CONCEPT DESIGN

TO SCALE @ A3

## Community Infrastructure Projects Library and Multi-Agency Service Centre - Concept Plan

Prepared for Shire of Serpentine and Jarrahdale

Site Address: 20 Abernethy Road

**GHDWOODHEAD**

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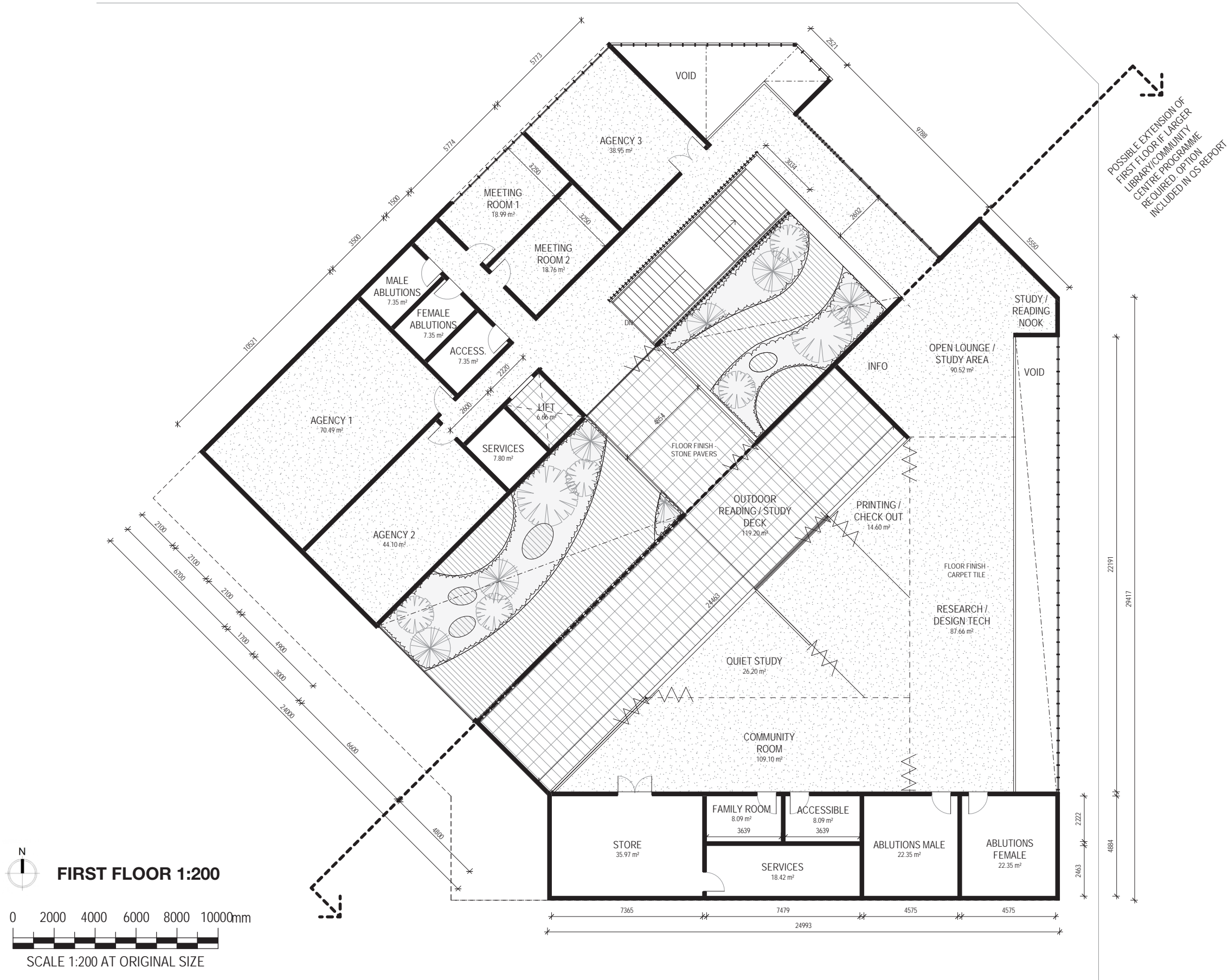
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OVERALL SITE SQM	Approx. 1750m <sup>2</sup>
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#### OPTION 1

OVERALL GFA	Size (sqm)
Ground Floor	1315
First Floor	412
Total Approx:	1727

#### OPTION 2

OVERALL GFA	Size (sqm)
Ground Floor	1315
First Floor with Expansion	1057
Total Approx:	2372

OVERALL FLOOR FINISHES GFA	Size (sqm)
Interior Stone Pavers	302
Timber Decking	76
Carpet	898
Tiling	110
Sealed Curbed Concrete	132
Landscaping	83

OVERALL FLOOR FINISHES GFA With Expansion	Size (sqm)
Interior Stone Pavers	417
Timber Decking	76
Carpet	1200
Tiling	176
Sealed Curbed Concrete	187
Landscaping	83

**OPTIONAL FIRST FLOOR EXPANSION INCLUDED IN THE QS REPORT.**

## Community Infrastructure Projects Library and Multi-Agency Service Centre - Concept Plan

Prepared for **Shire of Serpentine and Jarrahdale**  
Site Address: 20 Abernethy Road

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Job No: 61/36668 / Date: 29 MAR 2018

Approved: - / Scale: 1:200

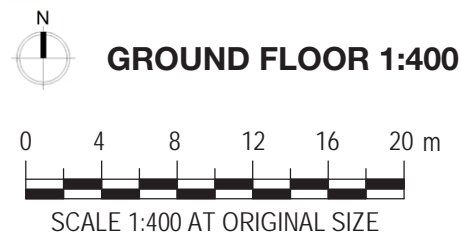
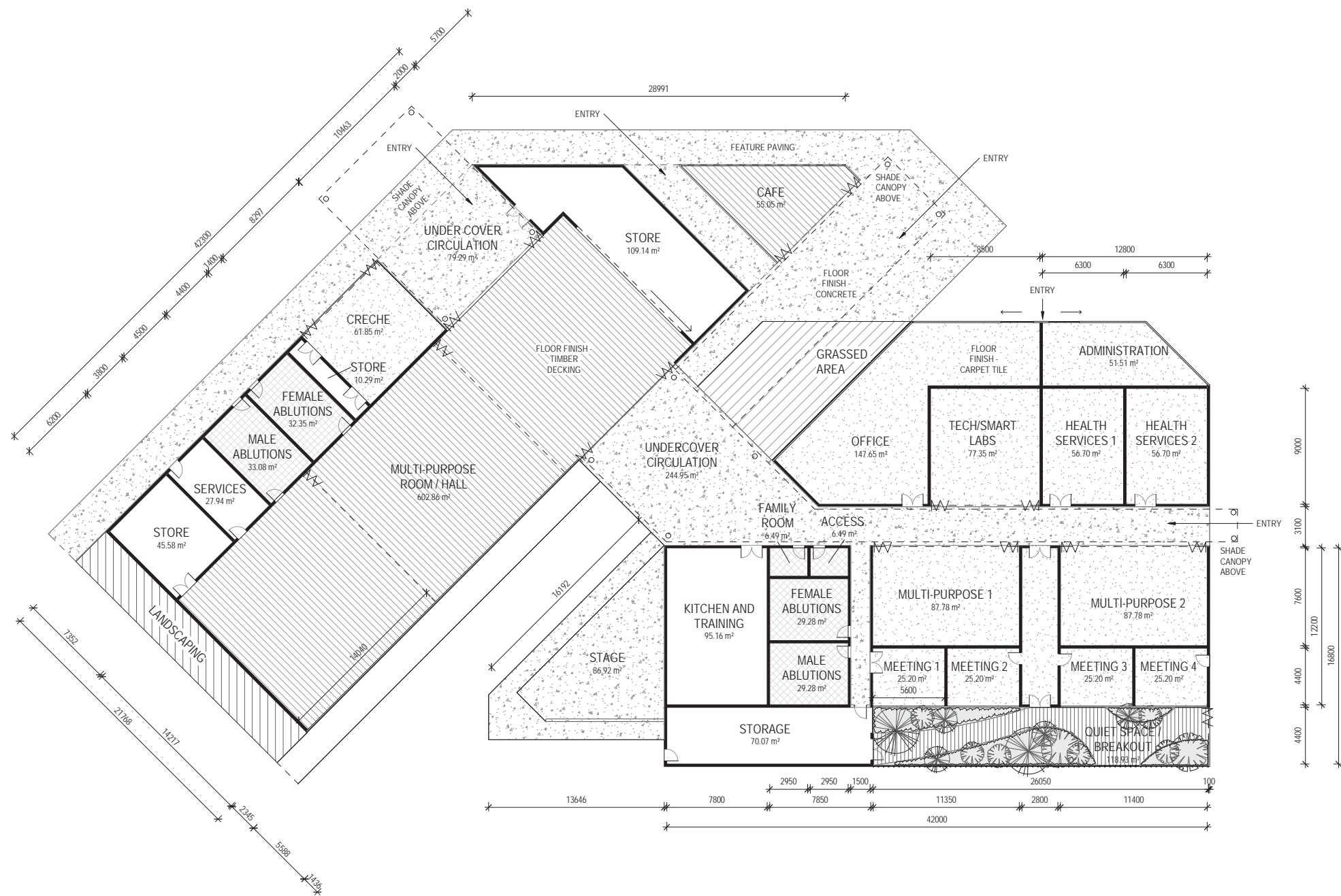
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# Community Infrastructure Projects

## District Community Centre - Concept Plan

Prepared for **Shire of Serpentine and Jarrahdale**  
Site Address : 6 Paterson Street

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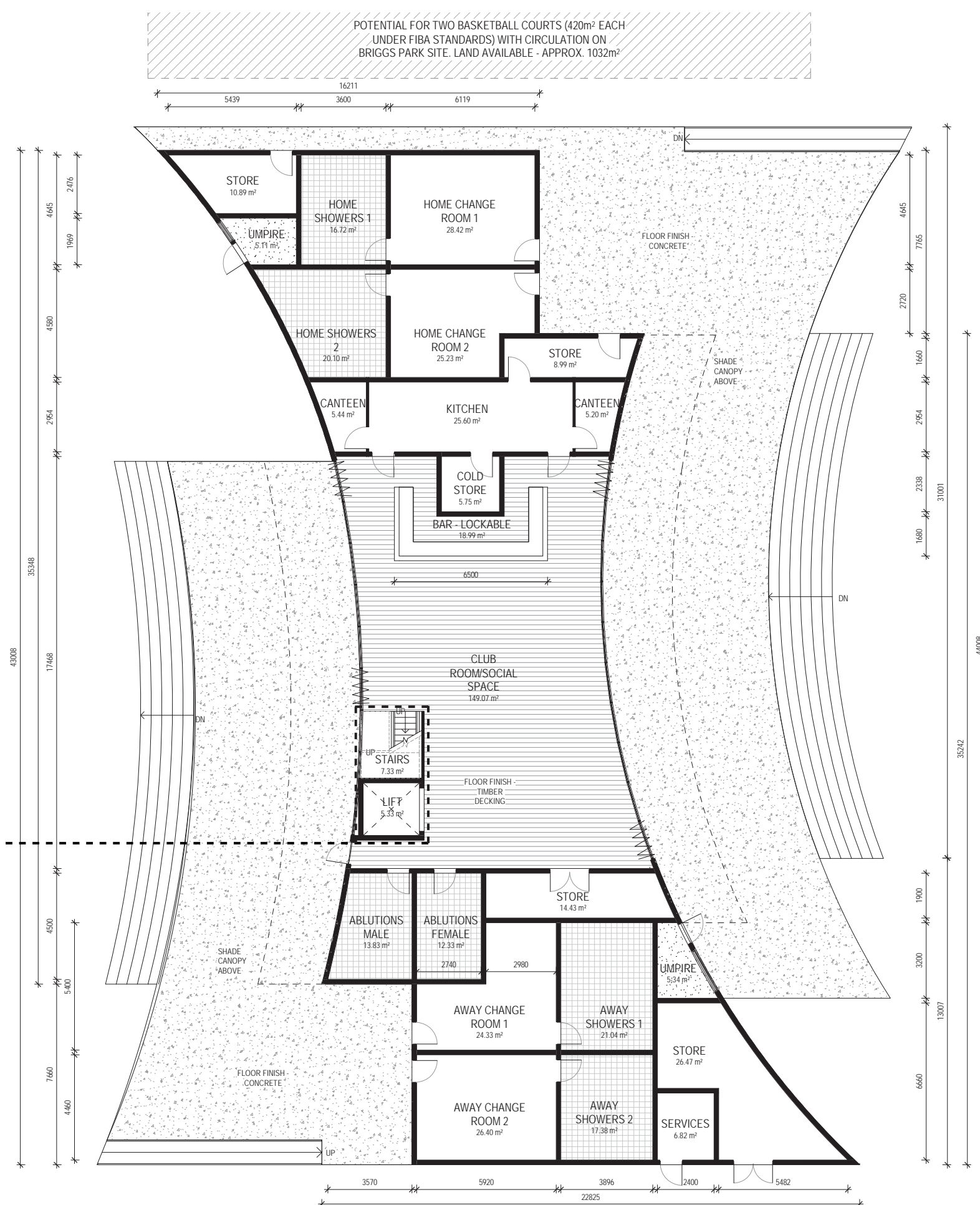
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OVERALL SITE SQM	Approx. 3140m <sup>2</sup>
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OVERALL GFA	Size (sqm)
Ground Floor	2570
Total Approx:	2570

OVERALL FLOOR FINISHES GFA	Size (sqm)
Concrete	921
Timber Decking	657
Carpet	808
Tiling	136
Sealed Curbed Concrete	358

- NOTES:
1. Parking provisions not included as part of this concept plan sheet.
  2. External lighting to new District Community Centre included in the QS report.
  3. Landscaping provisions included in the QS report.



OVERALL SITE SQM	Approx. 1800m <sup>2</sup>
------------------	----------------------------

### OPTION 1

OVERALL GFA	Size (sqm)
Ground Floor	560
Total Approx:	560

## OPTION 2

OVERALL GFA	Size (sqm)
Ground Floor	560
First Floor	440
Total Approx:	1000

OVERALL FLOOR FINISHES GFA	Size (sqm)
Concrete	561
Timber Decking	161
Carpet	11
Tiling	103
Sealed Curbed Concrete	204

OVERALL FLOOR FINISHES GFA With Expansion	Size (sqm)
Concrete	561
Timber Decking	428
Carpet	23
Tiling	141
Sealed Curbed Concrete	292

NOTES:

1. Parking provisions not included as part of this concept plan sheet.
2. External lighting to new Briggs park Pavilion included in the QS report.
3. Landscaping provisions included in the QS report.
4. Optional First Floor expansion included in the QS report.

**TO SCALE @ A3**

# Community Infrastructure Projects

## Briggs Park Pavilion - Concept Plan

Prepared for **Shire of Serpentine and Jarrahdale**

Site Address: 20 Mead Street

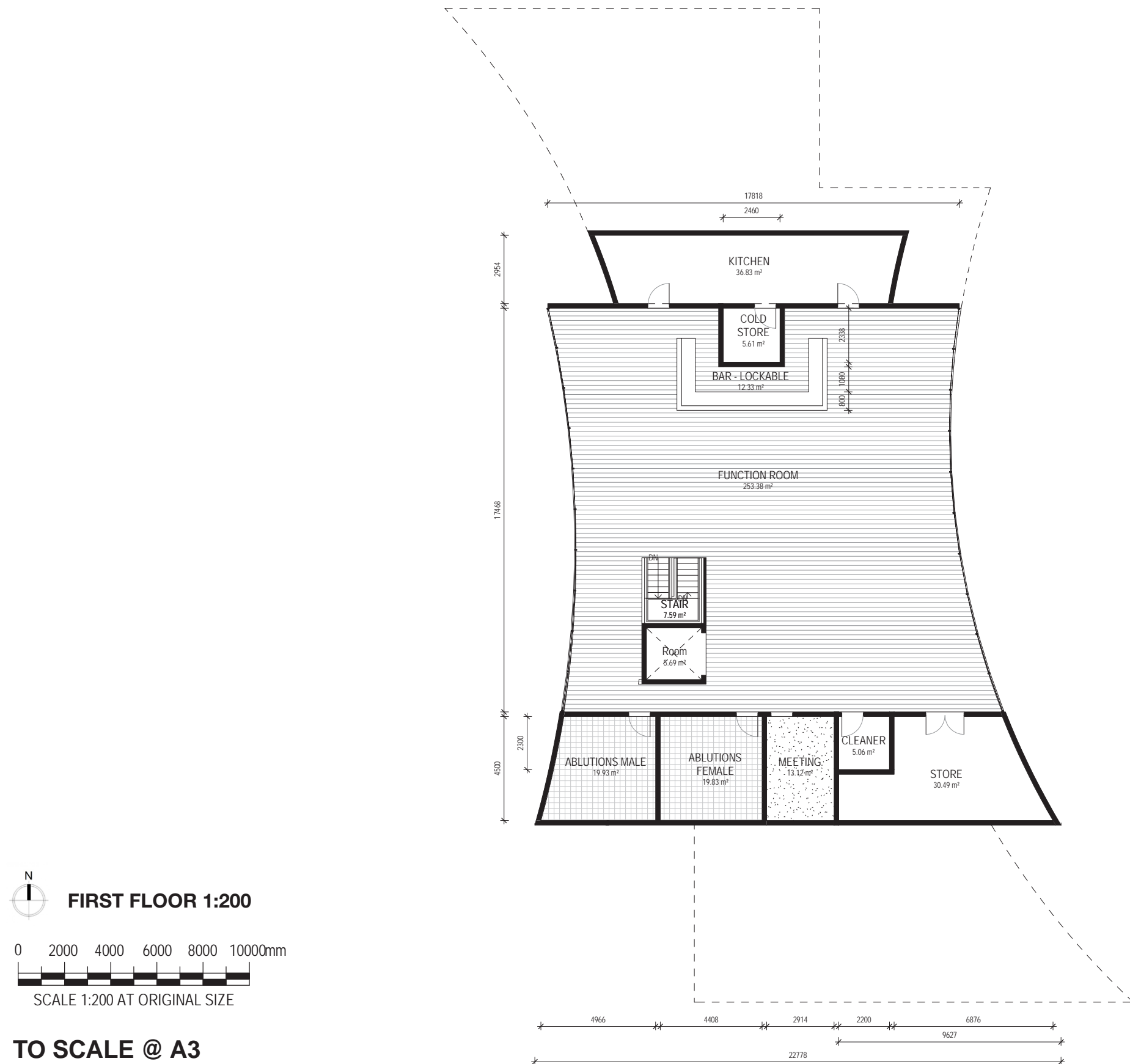
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Community Infrastructure Projects

Briggs Park Pavilion - Concept Plan

Prepared for

Shire of Serpentine and Jarrahdale

Site Address: 20 Mead Street

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Job No: 61/36668

Date: 29 MAR 2018

Approved: -

Scale: 1:200

Drawing No: SK-05

Rev: B

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OVERALL SITE SQM	Approx. 1800m <sup>2</sup>
------------------	----------------------------

OPTION 1

OVERALL GFA	Size (sqm)
Ground Floor	560
Total Approx:	560

OPTION 2

OVERALL GFA	Size (sqm)
Ground Floor	560
First Floor	440
Total Approx:	1000

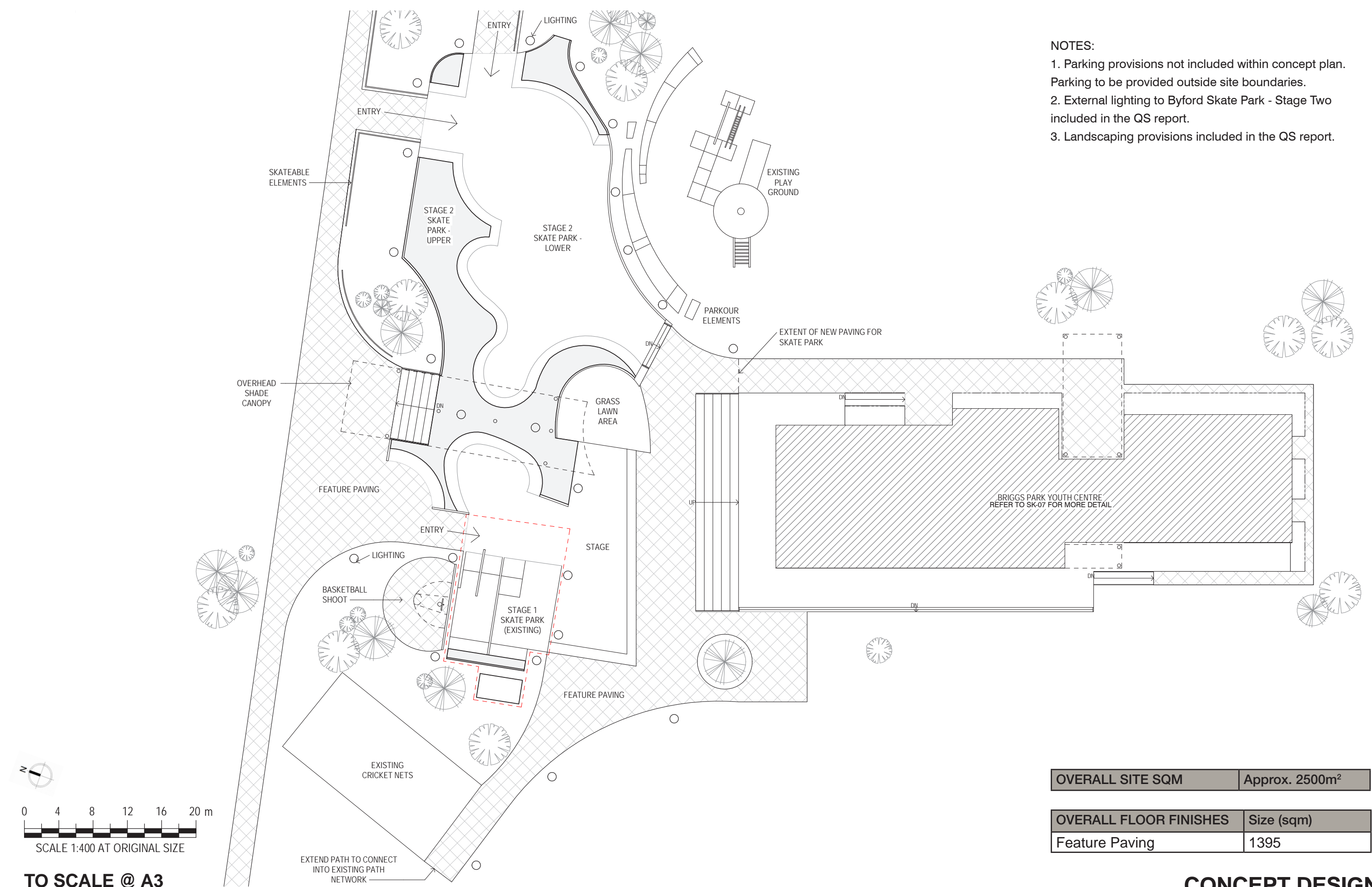
OVERALL FLOOR FINISHES GFA	Size (sqm)
Concrete	561
Timber Decking	161
Carpet	11
Tiling	103
Sealed Curbed Concrete	204

OVERALL FLOOR FINISHES GFA With Expansion	Size (sqm)
Concrete	561
Timber Decking	428
Carpet	23
Tiling	141
Sealed Curbed Concrete	292

OPTIONAL FIRST FLOOR INCLUDED  
IN THE QS REPORT.

CONCEPT DESIGN





TO SCALE @ A3

# Community Infrastructure Projects

## Byford Skate Park Stage Two - Concept Plan

Prepared for Shire of Serpentine and Jarrahdale

Site Address: 20 Mead Street

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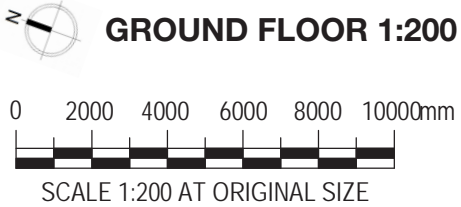
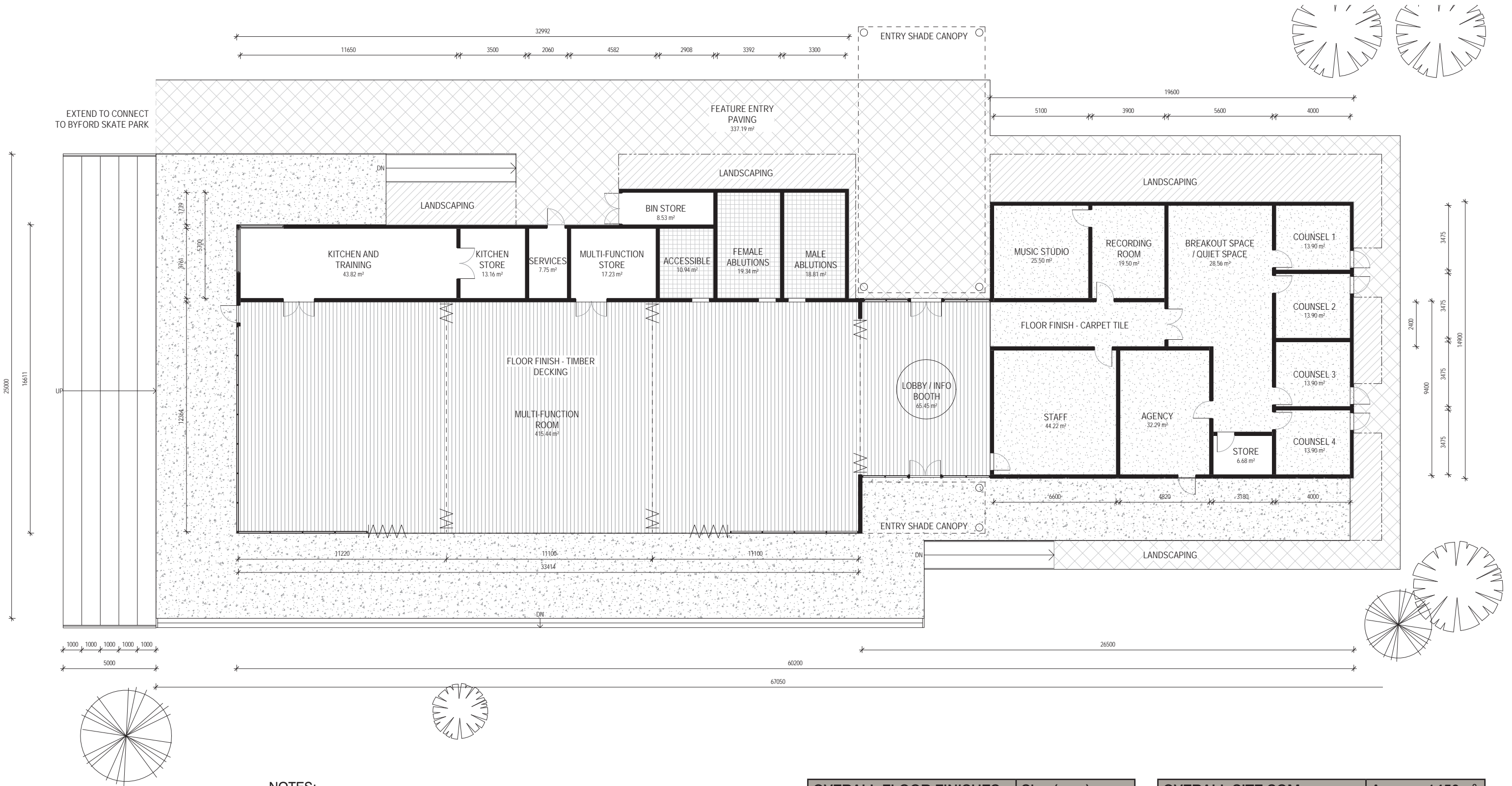
Job No: 61/36668 / Date: 29 MAR 2018

Approved: - / Scale: 1:400

Drawing No: **SK-06** Rev: **B**

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- NOTES:
- 1. Parking provisions not included as part of this concept plan sheet.
  - 2. External lighting to refurbished Youth Centre included in the QS report.
  - 3. Landscaping provisions to be included in the QS report.
  - 4. Demolition works not shown in concept plan. Costing associated with demolition included in the QS report.

OVERALL FLOOR FINISHES	Size (sqm)
Concrete	397
Timber Decking	481
Carpet	206
Tiling	141
Feature Paving	337
Sealed Curbed Concrete	97

OVERALL SITE SQM	Approx. 1450m <sup>2</sup>
OVERALL GFA	Size (sqm)
Ground Floor	941
Total Approx:	941

TO SCALE @ A3

Community Infrastructure Projects  
Briggs Park Youth Centre - Concept Plan

Prepared for Shire of Serpentine and Jarrahdale  
Site Address: 20 Mead Street

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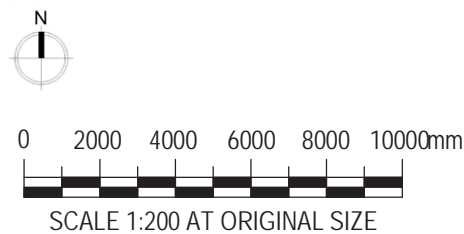
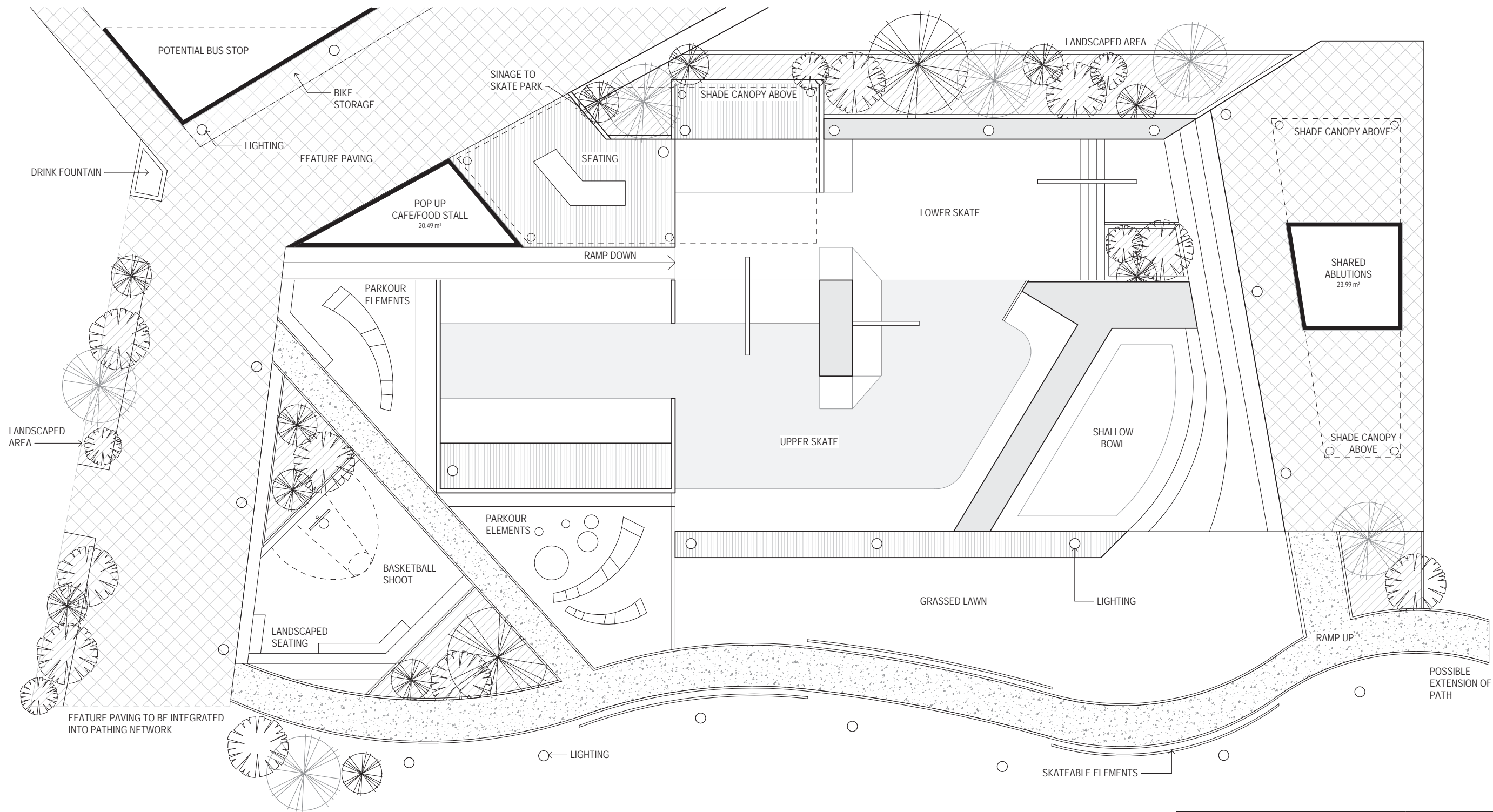
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Drawing No: SK-07 / Rev: B

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NOTES:

1. Parking provisions not included within concept plan sheet. Refer to SK-09 for parking provisions provided in the Keirnan Recreation Precinct concept plan.
2. External lighting to Munidjong Whitby Skate Park included in the QS report.
3. Landscaping provisions included in the QS report.

OVERALL SITE SQM	Approx. 3350m <sup>2</sup>
------------------	----------------------------

OVERALL FLOOR FINISHES	Size (sqm)
Concrete	167
Timber Decking	103
Feature Paving	584
Sealed Curbed Concrete	44

TO SCALE @ A3

## Community Infrastructure Projects

### Mundijong Whitby District Skate Park - Concept Plan

Prepared for **Shire of Serpentine and Jarrahdale**  
Site Address: Keirnan Park Recreation Precinct

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Job No: 61/36668 / Date: 29 MAR 2018  
Approved: - / Scale: 1:200  
Drawing No: **SK-08** / Rev: **B**

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**CONCEPT DESIGN**



STAGING:

**STAGE 1:** Includes Well-being Trail, Skate Park, BMX pump track, Reference Building, Picnic Area, Play Area.

**STAGE 2:** Includes National BMX Track Facility (Provided externally based on future negotiations) and parking.

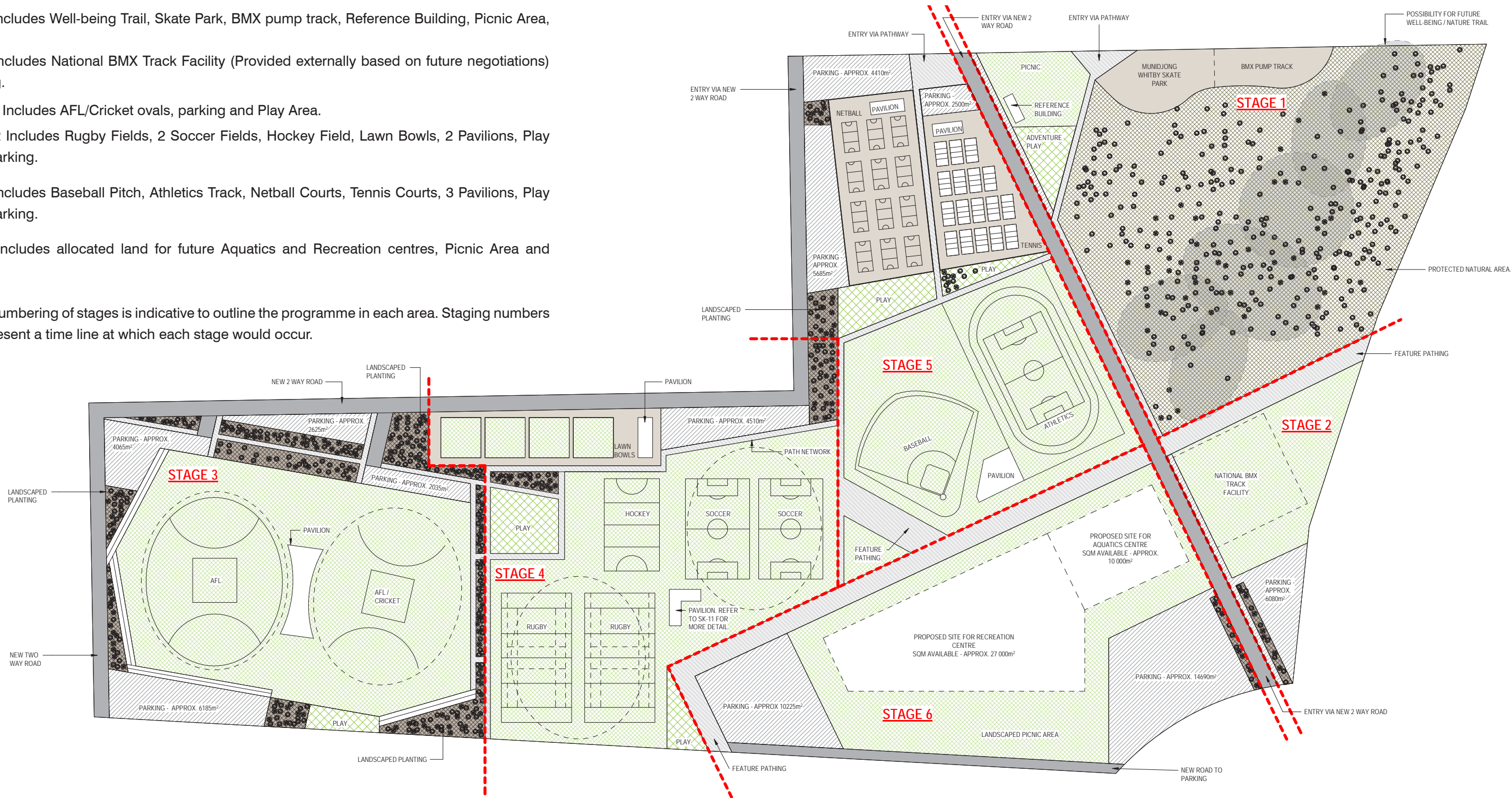
**STAGE 3:** 2 Includes AFL/Cricket ovals, parking and Play Area.

**STAGE 4:** 2 Includes Rugby Fields, 2 Soccer Fields, Hockey Field, Lawn Bowls, 2 Pavilions, Play Area and parking.

**STAGE 5:** Includes Baseball Pitch, Athletics Track, Netball Courts, Tennis Courts, 3 Pavilions, Play Area and parking.

**STAGE 6:** Includes allocated land for future Aquatics and Recreation centres, Picnic Area and parking.

Note: The numbering of stages is indicative to outline the programme in each area. Staging numbers do not represent a time line at which each stage would occur.



- NOTES:
1. For more detail of pavilion located in Stage Four, please refer to concept plan for pavilion located at Orton Road on SK-11.
  2. External lighting to Keirnan Park Recreation Precinct included in the QS report.
  3. Landscaping provisions included in the QS report.
  4. Approximately 10,000m<sup>2</sup> is located on site for proposed new centre to allow for 50m outdoor competitive pool, covered outdoor leisure

- pool and associated facilities. Costs associated with the building included in the QS report.
5. Approximately 27,000m<sup>2</sup> is located on site for the proposed new Multi-use Indoor Sporting facility that has an accommodation schedule as per the Community Infrastructure Implementation Plan. Costs associated with the building included in the QS report.

OVERALL SITE SQM	Approx. 632,100m <sup>2</sup>
------------------	-------------------------------

CONCEPT DESIGN

TO SCALE @ A3

Community Infrastructure Projects

Keirnan Park Recreation Precinct - Concept Plan

Prepared for

Shire of Serpentine and Jarrahdale

Site Address: Corner of Keiran Street and South West Highway

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Job No: 61/36668

Date: 29 MAR 2018

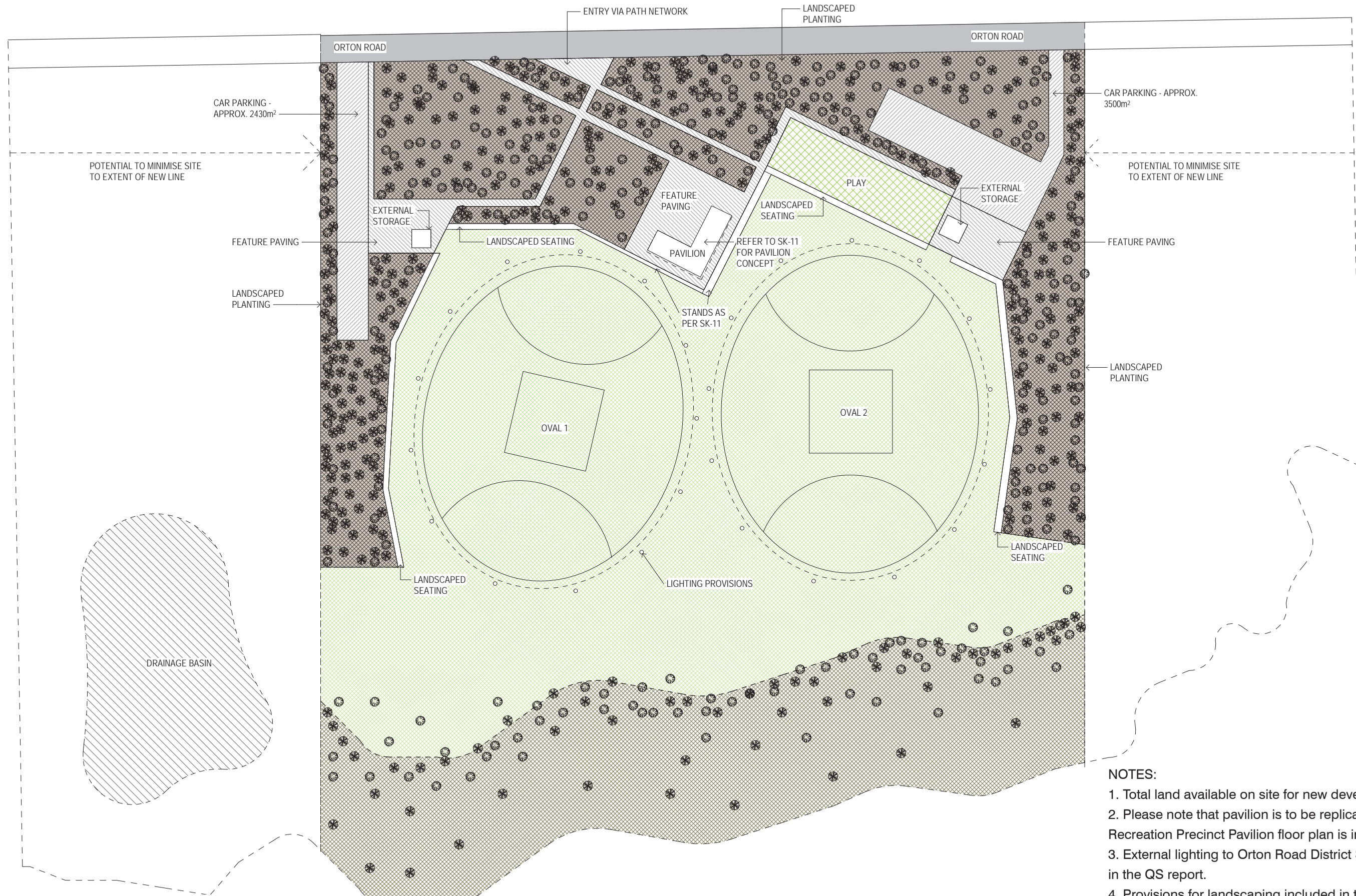
Approved: -

Scale: 1:4000

Drawing No: SK-09

Rev: B





- NOTES:
- 1. Total land available on site for new development - 8 Hectares.
  - 2. Please note that pavilion is to be replicated at Keirnan Park Recreation Precinct Pavilion floor plan is included in SK-09.
  - 3. External lighting to Orton Road District Sports Space included in the QS report.
  - 4. Provisions for landscaping included in the QS report.
  - 5. External storage and maintenance shed included in QS report.

OVERALL SITE SQM (INDICATIVE) | Approx. 152380m<sup>2</sup>

TO SCALE @ A3



## Community Infrastructure Projects

### Orton Road - District Sports Space - Concept Plan

Prepared for **Shire of Serpentine and Jarrahdale**  
Site Address: Corner of Orton Road and Doley Street

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Approved: - / Scale: **1:2000**  
Drawing No: **SK-10** / Rev: **B**

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- NOTES:
- 1. Please note that the concept design included on this sheet is also applicable to SK-09.
  - 3. External lighting to Orton Road District Sports Space
  - 4. Landscaping provisions included in the QS report.

OVERALL SITE SQM (INDICATIVE)	Approx. 152,380m <sup>2</sup>
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OVERALL GFA	Size (sqm)
Ground Floor	660
Total Approx:	660

OVERALL FLOOR FINISHES	Size (sqm)
Timber Decking	212
Carpet	13
Tiling	130
Sealed Curbed Concrete	205

TO SCALE @ A3



GROUND FLOOR 1:200

Community Infrastructure Projects  
Orton Road - District Sports Space Pavilion - Concept Plan

Prepared for Shire of Serpentine and Jarrahdale  
Site Address: Corner of Orton Road and Doley Street

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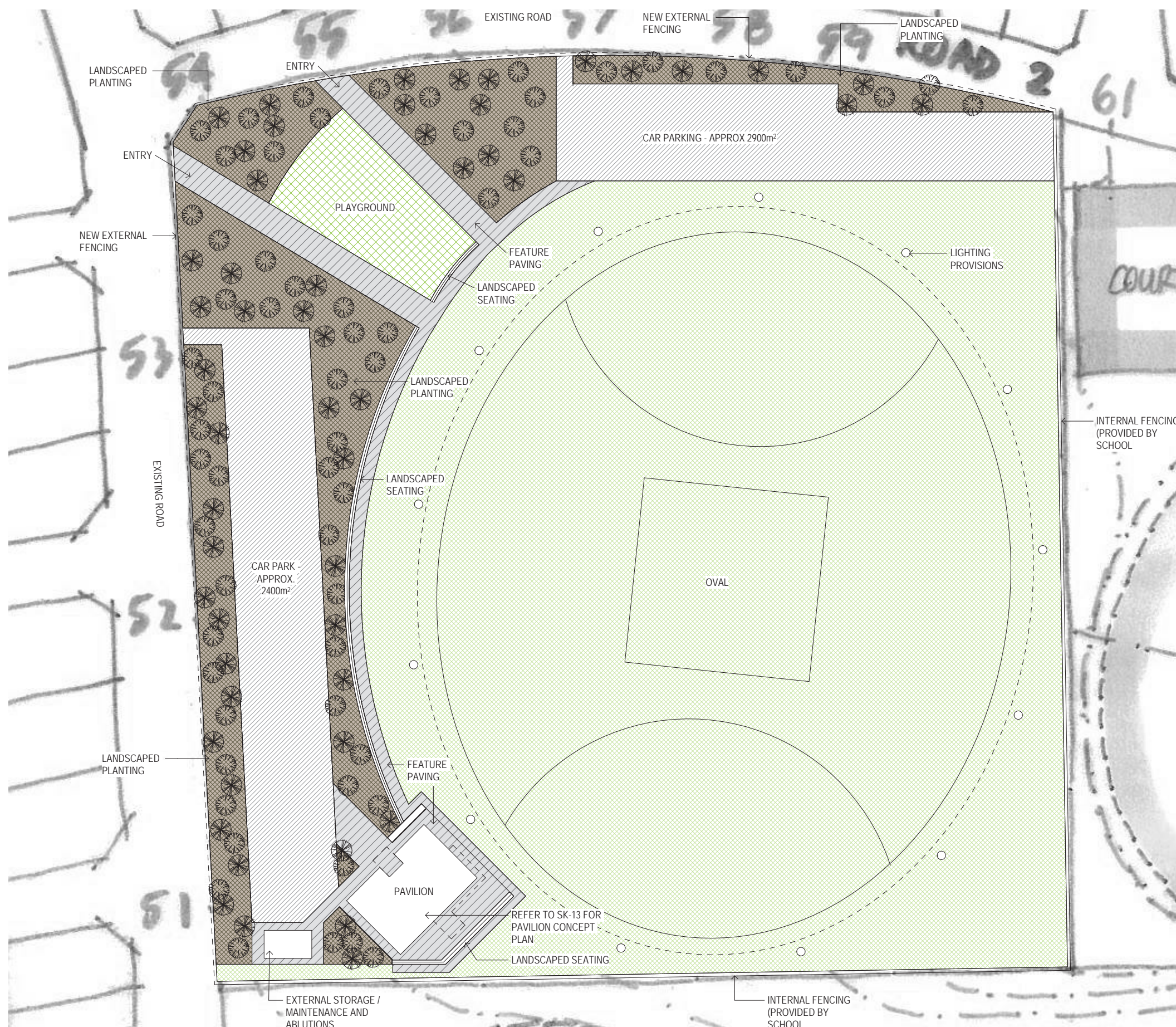
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Job No: 61/36668 / Date: 29 MAR 2018  
Approved: - / Scale: 1:200  
Drawing No: **SK-11** Rev: **B**

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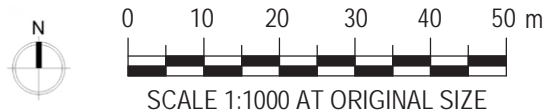


OVERALL SITE SQM	Approx. 43950m <sup>2</sup>
------------------	-----------------------------

#### NOTES:

1. External lighting to District Sports Space included in QS report.
2. Landscaping provisions included in QS report.
3. External storage, maintenance and ablutions shed included in QS report.
4. Playground area included in QS report.

TO SCALE @ A3



## Community Infrastructure Projects

### District Sports Space - Concept Plan

Prepared for Shire of Serpentine and Jarrahdale

Site Address: Reilly Road

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Job No: 61/36668

Date: 29 MAR 2018

Approved: -

Scale: 1:1000

Drawing No: **SK-12**

Rev: **B**

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**CONCEPT DESIGN**





OVERALL SITE SQM	Approx. 43950m²
------------------	-----------------

OVERALL GFA	Size (sqm)
Ground Floor	457
Total Approx:	457

OVERALL FLOOR FINISHES	Size (sqm)
Timber Decking	133
Carpet	6
Tiling	94
Sealed Curbed Concrete	161

- NOTES:
- 1. External lighting to District Sports Space included in QS report.
  - 2. Landscaping provisions included in QS report.

TO SCALE @ A3

0 2000 4000 6000 8000 10000mm

SCALE 1:200 AT ORIGINAL SIZE

GROUND FLOOR 1:200

Community Infrastructure Projects

District Sports Space Pavilion - Concept Plan

Prepared for Shire of Serpentine and Jarrahdale

Site Address: Reilly Road

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Job No: 61/36668 / Date: 29 MAR 2018

Approved: - / Scale: 1:200

Drawing No: SK-13 / Rev: B

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# SHIRE OF SERPENTINE JARRAHDAL COMMUNITY INFRASTRUCTURE

CONCEPT ESTIMATE REV 2

21 January 2019

P: (61 8) 9321 2777 | E: [info@rbb.com.au](mailto:info@rbb.com.au)  
ABN: 58 260 502 981

Level 9/200 St Georges Terrace Perth, WA 6000  
[www.rbb.com.au](http://www.rbb.com.au)

SHIRE OF SERPENTINE JARRAHDAL  
COMMUNITY INFRASTRUCTURE  
CONCEPT ESTIMATE REV 2



QUALITY MANAGEMENT

21-Jan-19

Revision	Prepared By	Checked By	Issue Date	Comments
0	Mark Hampson	Sadmir Ceric	29-Mar-18	
1	Mark Hampson	Sadmir Ceric	9-Apr-18	
2	Mark Hampson	Sadmir Ceric	21-Jan-19	



NOTES AND ASSUMPTIONS

21-Jan-19

REF	SCOPE	TOTAL (\$)
1	This estimate is based on the following information from GHD: SK-01 to Sk-12 (all Rev B) Only those works shown therein have been included	
2	This estimate is based on conceptual design information and should be considered indicative only. The estimate is considered to be consistent with the required +/-30% level of accuracy.	
3	Engineering/specialist design/cost advice was not available at the time of preparing this estimate	
4	Site levels and geotech information was not available at the time of preparing this estimate	
5	The costs included in this estimate are those current as at 29 March 2018. the estimate assumes a construction commencement date of 1 July 2019 and allows escalation to that date	
6	No works programme was available at the time of the estimates preparation. As such we have no visibility on the date of commencement of any works package. No addition escalation item 5 has been included for staging the works	
7	The estimate includes costs for:	
8	Contractor works including preliminaries and margins	
9	Contingencies	
10	Cost associated with Building Act Compliance 9DA, Building Licence etc.)	
11	Public Art	
12	Loose Furniture & Equipment (where applicable)	
13	Professional fees (Consultants)	
14	No allowance is made for direct costs to the Shire for overseeing and/or attending on the project	
15	No allowance is made for:	
16	- land purchase costs	
17	- holding and finance charges	
18	- Geotechnical reports, Site surveying	
19	Cost allowances for sports lighting assume a training ground standard of 200 lux. It is assumed the existing infrastructure is sufficient to handle the electrical load of the new systems without significant upgrade. Specialist advice is required to determine if any of the existing infrastructure can be utilised.	
20	The estimate assumes the approximately 1m of cut to fill on the site to provide level surfaces for construction. No cost has been allowed for bulk earthworks in excess of this assumption	
21	Cost for ovals and sports pitches include for major earthworks, imported fill, drainage, soil cultivation, turf, irrigation, sporting equipment, line marking. Consultant advice required to determine extent of civil works required.	
22	No allowance is made for electronic scoreboards	
23	No information is provided with regard to the size or scale of the Aquatic or Leisure Centre. All costs associated with these elements are based on very high level rules of thumb and should not be considered to comply with the +/-30% estimate accuracy range. The following has been assumed:	

- 24 - Aquatic Centre is assumed to include for a 50m pool (outdoor), a leisure pool (outdoor)café, change rooms and any associated spaces
- 25 - Leisure Centre is to include for 12 No indoor multipurpose courts (basketball / futsal etc.), gym and associated facilities. RBB has assumed a 20,000m2 building of design standards typical to a local authority community / leisure centre.
- 26 Refer to the main body of the estimate for works included.
- 27 This estimate assumes that the works shall be competitively tendered.

SUMMARY 1

09-Apr-18

REF	SCOPE	TOTAL (\$)
1	Library & Multi-Purpose Service Centre	6,275,000
1a	Extra for Option 2 Larger Library & Multi-Purpose Service Centre	1,900,000
2	Briggs Park Pavilion	4,435,000
3	Briggs Park Youth Centre Refurbishment	2,960,000
4	Byford Park - Stage 1	770,000
5	Byford Park - Stage 2	820,000
6	Mundijong Whitby District Skate Park	4,015,000
7	Keirnan Park Recreation Precinct	176,300,000
8	Orton Road District Sports Space	22,185,000
9	Orton Road District Sports Space Pavilion	2,800,000
9a	Reilly Road District Sports Space	6,220,000
10	Reilly Road District Sports Space Pavilion	2,060,000
11	<b>TOTAL PROJECT COST</b>	<b>\$ 230,740,000</b>
12	GST	\$ 23,070,000
13	<b>TOTAL</b>	<b>\$ 253,810,000</b>



21/01/2019

REF	SCOPE	Unit	QTY	RATE	SUB-TOTAL	TOTAL (\$)
	<b><u>LIBRARY &amp; MULTI-AGENCY SERVICE CENTRE</u></b>					
	<b><u>Building</u></b>					
	<b><u>Ground Floor</u></b>					
1	Multi-Purpose Room 1	m2	46	2,200	101,200	
2	Multi-Purpose Room 2	m2	46	2,200	101,200	
3	Male ablutions	m2	8	2,800	22,400	
4	Female ablutions	m2	8	2,800	22,400	
5	Access	m2	8	2,800	22,400	
6	Store	m2	15	1,800	27,000	
7	Crèche	m2	37	2,100	77,700	
8	Lift (area)	m2	7	1,800	12,600	
9	Lift (equipment)	No	1	80,000	80,000	
10	Storage (under stair)	m2	17	1,800	30,600	
11	Café / kitchen	m2	18	3,000	54,000	
12	Extra over for kitchen equipment	Item	1	50,000	50,000	
13	Café Seating / Open Study	m2	136	2,100	285,600	
14	Circulation / atrium	m2	191	2,100	401,100	
15	Children's Activities	m2	47	2,200	103,400	
16	Flexible children's library	m2	116	2,200	255,200	
17	Seating / Open Study	m2	72	2,200	158,400	
18	Flexible Open Library Space	m2	187	2,200	411,400	
19	Reading lounge	m2	48	2,200	105,600	
20	Information Services / returns	m2	15	2,400	36,000	
21	Ablutions Male	m2	23	2,800	64,400	
22	Ablutions Female	m2	23	2,800	64,400	
23	Access	m2	9	2,800	25,200	
24	Family Room	m2	9	2,800	25,200	
25	Services	m2	19	1,800	34,200	
26	Main Store	m2	39	1,800	70,200	
27	Bin Store	m2	20	1,800	36,000	
28	Sundry undefined area	m2	164	2,100	344,400	

21/01/2019

REF	SCOPE	Unit	QTY	RATE	SUB-TOTAL	TOTAL (\$)
	<b><u>LIBRARY &amp; MULTI-AGENCY SERVICE CENTRE</u></b>					
	<u>First Floor</u>					
29	Note: without Extension					
30	Agency 1 (no fit out)	m2	71	2,100	149,100	
31	Agency 2 (no fit out)	m2	45	2,100	94,500	
32	Agency 3 (no fit out)	m2	39	2,100	81,900	
33	Meeting Room 1	m2	19	2,200	41,800	
34	Meeting Room 2	m2	19	2,200	41,800	
35	Male Ablutions	m2	8	2,800	22,400	
36	Female Ablutions	m2	8	2,800	22,400	
37	Access	m2	8	2,800	22,400	
38	Services	m2	8	1,800	14,400	
39	Lift (area)	m2	7	1,800	12,600	
40	Circulation and void	m2	185	2,200	407,000	
41	Extra over glass roof	m2	224	800	179,200	4,111,700
	<b><u>External Works</u></b>					
	<u>Site Preparation</u>					
42	Note: no allowance for demolition					
43	Prepare site / clearing and strip	m2	1,725	10	17,250	
44	Bulk earthworks	m3	1,725	25	43,125	
	<u>Roads, Paths &amp; Paved Areas</u>					
45	Allowance for car parking	Note			Excluded	
46	Allowance for pedestrian paving	m2	100	120	12,000	
	<u>Boundary Walls, Fences &amp; Gates</u>					
47	Allowance	Item	1	10,000	10,000	
	<u>Outbuildings &amp; Covered Ways</u>					
48	Allowance	Item	1	10,000	10,000	
	<u>Landscaping &amp; Improvements</u>					
49	Courtyard 1	m2	102	200	20,400	
50	Courtyard 2	m2	60	200	12,000	
51	General landscaping	m2	149	120	17,880	
52	Street furniture allowance	Item	1	10,000	10,000	
53	Entry feature	Item	1	5,000	5,000	
54	External Wayfinding & Signage	Item	1	10,000	10,000	167,655

21/01/2019

REF	SCOPE	Unit	QTY	RATE	SUB-TOTAL	TOTAL (\$)
	<b><u>LIBRARY &amp; MULTI-AGENCY SERVICE CENTRE</u></b>					
	<b><u>External Services</u></b>					
55	Stormwater	Item	1	34,540	34,540	
56	Sewer	Item	1	20,000	20,000	
57	Water Supply	Item	1	10,000	10,000	
58	Gas Supply	Item	1	10,000	10,000	
59	Fire water supply and hydrants	Item	1	10,000	10,000	
60	Electrical supply	Item	1	10,000	10,000	
61	External lighting allowance	Item	1	20,000	20,000	
62	Communications supply	Item	1	10,000	10,000	124,540
63	Sub-Total (net cost)				4,403,895	4,403,895
64	Design Contingency					221,105
65	<b>Sub-Total (Construction Cost)</b>					<b>4,625,000</b>
66	Construction Contingency					460,000
67	Headworks and Statutory Charges					70,000
68	Building Act Compliance					20,000
69	Public Art					50,000
70	Loose Furniture (FFE)					280,000
71	Professional Fees (Consultants)					550,000
72	Shire Direct Costs					Excluded
73	Gross Project Cost (current)					6,055,000
74	Escalation to Tender (assume commencement July 2019)					220,000
75	<b>Estimated Total Commitment</b>					<b>6,275,000</b>
76	GST					627,500
77	<b>Total</b>					<b>6,902,500</b>

21/01/2019

REF	SCOPE	Unit	QTY	RATE	SUB-TOTAL	TOTAL (\$)
	<b><u>LIBRARY &amp; MULTI-AGENCY SERVICE CENTRE</u></b>					
	<b><u>OPTION - LIBRARY EXTENSION</u></b>					
	<b>Building</b>					
	<b><u>First Floor</u></b>					
78	Quiet Study	m2	27	2,200	59,400	
79	Community Room	m2	110	2,200	242,000	
80	Printing / check out	m2	15	2,200	33,000	
81	Research / design tech	m2	88	2,200	193,600	
82	Open lounge / study area	m2	91	2,200	200,200	
83	Ablutions Male	m2	23	2,800	64,400	
84	Ablutions Female	m2	23	2,800	64,400	
85	Access	m2	9	2,800	25,200	
86	Family Room	m2	9	2,800	25,200	
87	Services	m2	19	1,800	34,200	
88	Main Store	m2	36	1,800	64,800	
89	Circulation and sundry undefined area	m2	83	2,200	182,600	
90	Outdoor reading / study deck (UCA)	m2	120	1,200	144,000	1,333,000
91	Sub-Total (net cost)				1,333,000	1,333,000
92	Design Contingency					67,000
93	<b>Sub-Total (Construction Cost)</b>					<b>1,400,000</b>
94	Construction Contingency					140,000
95	Headworks and Statutory Charges					20,000
96	Building Act Compliance					5,000
97	Public Art					15,000
98	Loose Furniture (FFE)					80,000
99	Professional Fees (Consultants)					170,000
100	Shire Direct Costs					Excluded
101	Gross Project Cost (current)					1,830,000
102	Escalation to Tender (assume commencement July 2019)					70,000
103	<b>Estimated Total Commitment</b>					<b>1,900,000</b>
104	GST					190,000
105	<b>Total</b>					<b>2,090,000</b>

21/01/2019

REF	SCOPE	Unit	QTY	RATE	SUB-TOTAL	TOTAL (\$)
	<b><u>DISTRICT COMMUNITY CENTRE</u></b>					
	<b><u>Building</u></b>					
1	Store	m2	46	1,800	82,800	
2	Services	m2	28	1,800	50,400	
3	Male Ablutions	m2	34	2,800	95,200	
4	Female Ablutions	m2	33	2,800	92,400	
5	Store	m2	11	1,800	19,800	
6	Crèche	m2	62	2,100	130,200	
7	Store	m2	110	1,800	198,000	
8	Multi-purpose Room / Hall	m2	603	2,200	1,326,600	
9	Café	m2	56	3,000	168,000	
10	Extra over for Commercial Kitchen Equipment	Item	1	50,000	50,000	
11	Office	m2	148	2,200	325,600	
12	Administration	m2	52	2,200	114,400	
13	Tech/ Smart Labs	m2	78	3,000	234,000	
14	Health Services 1	m2	57	2,200	125,400	
15	Health Services 2	m2	57	2,200	125,400	
16	Kitchen and Training	m2	96	2,800	268,800	
17	Extra over kitchen equipment	Item	1	25,000	25,000	
18	Female Ablutions	m2	30	2,800	84,000	
19	Male Ablutions	m2	30	2,800	84,000	
20	Multi-Purpose Room 1	m2	88	2,200	193,600	
21	Meeting Room 1	m2	26	2,200	57,200	
22	Meeting Room 2	m2	26	2,200	57,200	
23	Multi-Purpose 2	m2	88	2,200	193,600	
24	Meeting Room 3	m2	26	2,200	57,200	
25	Meeting Room 4	m2	26	2,200	57,200	
26	Storage	m2	71	1,800	127,800	
27	Family Room	m2	7	2,800	19,600	
28	Access	m2	7	2,800	19,600	
29	Circulation	m2	38	2,100	79,800	
	<b><u>Enhancements</u></b>					
30	Operable walls, 14200 wide	No	2		included	
31	Bi-fold doors, 11300 wide	No	2		included	
32	Bi-fold doors, 10500 wide	No	2		included	
33	Bi-fold doors, 9000 wide	No	1		included	
34	Bi-fold doors, 8500 wide	No	1		included	
35	Bi-fold doors, 8300 wide	No	1		included	4,462,800



REF	SCOPE	Unit	QTY	RATE	SUB-TOTAL	TOTAL (\$)
	<b><u>DISTRICT COMMUNITY CENTRE</u></b>					
	<b><u>External Works</u></b>					
	<u>Site Preparation</u>					
	Note: no allowance for demolition					
36	Prepare site / clearing and strip	m2	3,140	10	31,400	
37	Bulk earthworks	m3	3,140	25	78,500	
	<b><u>Roads, Paths &amp; Paved Areas</u></b>					
38	Concrete paving	m2	745	120	89,400	
39	Feature	m2	90	140	12,600	
	<b><u>Boundary Walls, Fences &amp; Gates</u></b>					
40	Allowance	Item	1	10,000	10,000	
	<b><u>Outbuildings &amp; Covered Ways</u></b>					
41	Shade canopies	m2	527	1,000	527,000	
42	General allowance	Item	1	10,000	10,000	
	<b><u>Landscaping &amp; Improvements</u></b>					
43	Grassed area	m2	91	80	7,280	
44	Quiet space / breakout	m2	119	200	23,800	
45	General landscaping	m2	74	120	8,880	
46	Stage	m2	87	200	17,400	
47	Street furniture allowance	Item	1	10,000	10,000	
48	Entry feature	Item	1	5,000	5,000	
49	External Wayfinding & Signage	Item	1	10,000	10,000	841,260
	<b><u>External Services</u></b>					
50	Stormwater	Item	1	62,820	62,820	
51	Sewer	Item	1	20,000	20,000	
52	Water Supply	Item	1	10,000	10,000	
53	Gas Supply	Item	1	10,000	10,000	
54	Fire water supply and hydrants	Item	1	10,000	10,000	
55	Electrical supply	Item	1	10,000	10,000	
56	External lighting allowance	Item	1	20,000	20,000	
57	Communications supply	Item	1	10,000	10,000	152,820

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REF	SCOPE	Unit	QTY	RATE	SUB-TOTAL	TOTAL (\$)
	<b><u>DISTRICT COMMUNITY CENTRE</u></b>					
58	Sub-Total (net cost)				5,456,880	5,456,880
59	Design Contingency					273,120
60	<b>Sub-Total (Construction Cost)</b>					<b>5,730,000</b>
61	Construction Contingency					570,000
62	Headworks and Statutory Charges					90,000
63	Building Act Compliance					30,000
64	Public Art					60,000
65	Loose Furniture (FFE)					340,000
66	Professional Fees (Consultants)					680,000
67	Shire Direct Costs					Excluded
68	Gross Project Cost (current)					7,500,000
69	Escalation to Tender (assume commencement July 2019)					270,000
70	<b>Estimated Total Commitment</b>					<b>7,770,000</b>
71	GST					777,000
72	<b>Total</b>					<b>8,547,000</b>

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REF	SCOPE	Unit	QTY	RATE	SUB-TOTAL	TOTAL (\$)
	<b><u>BRIGGS PARK PAVILLION</u></b>					
	<b><u>Building</u></b>					
	<b><u>Ground Floor</u></b>					
1	Store	m2	11	2,000	22,000	
2	Umpire	m2	6	2,500	15,000	
3	Home Showers	m2	17	2,800	47,600	
4	Home Change Room	m2	29	2,500	72,500	
5	Home Showers	m2	21	2,800	58,800	
6	Home Change Room 2	m2	26	2,500	65,000	
7	Canteen	m2	6	2,600	15,600	
8	Kitchen	m2	26	2,800	72,800	
9	Extra over for Kitchen Equipment	Item	1	20,000	20,000	
10	Store	m2	9	2,000	18,000	
11	Canteen	m2	6	2,600	15,600	
12	Cold Store	m2	6	5,000	30,000	
13	Club Room / Social Space (including Bar)	m2	169	2,500	422,500	
14	Extra over for bar equipment	Item	1	10,000	10,000	
15	Male Ablutions	m2	14	2,800	39,200	
16	Female Ablutions	m2	13	2,800	36,400	
17	Store	m2	15	2,000	30,000	
18	Away Change Room 1	m2	25	2,500	62,500	
19	Away Change Room 2	m2	27	2,500	67,500	
20	Away Showers 1	m2	22	2,800	61,600	
21	Away Showers 2	m2	18	2,800	50,400	
22	Umpire	m2	6	2,500	15,000	
23	Store	m2	27	2,000	54,000	
24	Services	m2	7	2,000	14,000	
25	Lift (area)	m2	6	2,000	12,000	
26	Lift (equipment)	No	1	80,000	80,000	
27	Stairs	m2	8	2,500	20,000	
	<b><u>First Floor</u></b>					
28	Kitchen	m2	37	2,800	103,600	
29	Cold Store	m2	6	5,000	30,000	
30	Function Room	m2	254	2,500	635,000	
31	Bar	m2	13	2,500	32,500	
32	Extra over for bar equipment	Item	1	10,000	10,000	
33	Ablutions Male	m2	20	2,800	56,000	
34	Ablutions Female	m2	20	2,800	56,000	
35	Meeting	m2	14	2,400	33,600	
36	Cleaner	m2	6	2,500	15,000	
37	Store	m2	31	2,000	62,000	
38	Lift (area)	m2	6	2,000	12,000	
39	Stairs	m2	8	2,500	20,000	

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REF	SCOPE	Unit	QTY	RATE	SUB-TOTAL	TOTAL (\$)
	<b><u>BRIGGS PARK PAVILLION</u></b>					
	<b><u>Enhancements</u></b>					
40	Stair - Ground to First Floor	Item	1	25,000	25,000	
41	Bi-folding door 18000 wide, curved on plan	No	2		included	2,518,700
	<b><u>External Works</u></b>					
	<b><u>Site Preparation</u></b>					
	Note: no allowance for demolition					
42	Prepare site / clearing and strip	m2	1,800	10	18,000	
43	Bulk earthworks	m3	1,800	25	45,000	
	<b><u>Roads, Paths &amp; Paved Areas</u></b>					
44	Concrete paving	m2	553	120	66,360	
45	Steps, 23m x 2.6m x 1.4m high in 7 risers, curved	No	2	25,000	50,000	
46	Ramp, 9m long	No	2	10,000	20,000	
	<b><u>Boundary Walls, Fences &amp; Gates</u></b>					
47	Allowance	Item	1	10,000	10,000	
	<b><u>Outbuildings &amp; Covered Ways</u></b>					
48	Shade canopies	m2	137	1,000	137,000	
49	General allowance	Item	1	10,000	10,000	
	<b><u>Landscaping &amp; Improvements</u></b>					
50	General landscaping	m2	725	120	87,000	
51	Street furniture allowance	Item	1	10,000	10,000	
52	Entry feature	Item	1	5,000	5,000	
53	External Wayfinding & Signage	Item	1	10,000	10,000	468,360
	<b><u>External Services</u></b>					
54	Stormwater	Item	1	22,740	22,740	
55	Sewer	Item	1	20,000	20,000	
56	Water Supply	Item	1	10,000	10,000	
57	Gas Supply	Item	1	10,000	10,000	
58	Fire water supply and hydrants	Item	1	10,000	10,000	
59	Electrical supply	Item	1	10,000	10,000	
60	External lighting allowance	Item	1	20,000	20,000	
61	Communications supply	Item	1	10,000	10,000	112,740

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REF	SCOPE	Unit	QTY	RATE	SUB-TOTAL	TOTAL (\$)
	<b><u>BRIGGS PARK PAVILLION</u></b>					
62	Sub-Total (net cost)				3,099,800	3,099,800
63	Design Contingency					155,200
64	<b>Sub-Total (Construction Cost)</b>					<b>3,255,000</b>
65	Construction Contingency					330,000
66	Headworks and Statutory Charges					50,000
67	Building Act Compliance					10,000
68	Public Art					40,000
69	Loose Furniture (FFE)					200,000
70	Professional Fees (Consultants)					390,000
71	Shire Direct Costs					Excluded
72	Gross Project Cost (current)					4,275,000
73	Escalation to Tender (assume commencement July 2019)					160,000
74	<b>Estimated Total Commitment</b>					<b>4,435,000</b>
75	GST					443,500
76	<b>Total</b>					<b>4,878,500</b>

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REF	SCOPE	Unit	QTY	RATE	SUB-TOTAL	TOTAL (\$)
	<b><u>BRIGGS PARK YOUTH CENTRE</u></b>					
	<b><u>Refurbishment of Existing</u></b>					
	<b><u>Ground Floor</u></b>					
	<b><u>Alteration &amp; Demolition</u></b>					
1	Gut existing building	m2	918	200	183,600	
2	Form opening in existing external wall for full height windows/ bi-folding doors	m2	135	500	67,500	
	<b><u>Fitout</u></b>					
3	Kitchen and Training	m2	44	2,100	92,400	
4	Extra over kitchen equipment	Item	1	50,000	50,000	
5	Kitchen Store	m2	14	1,500	21,000	
6	Services	m2	8	1,500	12,000	
7	Multi-Function Store	m2	18	1,575	28,350	
8	Accessible	m2	11	2,100	23,100	
9	Female Ablutions	m2	20	2,100	42,000	
10	Male Ablutions	m2	19	2,100	39,900	
11	Music Studio	m2	26	1,575	40,950	
12	Recording Room	m2	20	1,575	31,500	
13	Breakout Space / Quiet Space	m2	29	1,575	45,675	
14	Counsel 1	m2	14	1,575	22,050	
15	Counsel 2	m2	14	1,575	22,050	
16	Counsel 3	m2	14	1,575	22,050	
17	Counsel 4	m2	14	1,575	22,050	
18	Store	m2	7	1,500	10,500	
19	Agency	m2	33	1,575	51,975	
20	Staff	m2	45	1,575	70,875	
21	Multi-Function Room	m2	416	1,575	655,200	
22	Bin Store	m2	9	1,500	13,500	
23	Circulation	m2	100	1,500	150,000	
24	Lobby / Info Booth	m2	66	1,500	99,000	
	<b><u>Enhancements</u></b>					
25	Bi-fold doors, 19700 wide, external	No	1	48,000	48,000	
26	Operable walls, 12500 wide	No	2		included	
27	Full height windows	m2	76	800	60,800	1,926,025
	<b><u>External Works</u></b>					
	<b><u>Site Preparation</u></b>					
	Note: no allowance for demolition					
28	Prepare site / clearing and strip	Note	n/a			
29	Bulk earthworks	Note	n/a			

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REF	SCOPE	Unit	QTY	RATE	SUB-TOTAL	TOTAL (\$)
	<b><u>BRIGGS PARK YOUTH CENTRE</u></b>					
30	<u>Roads, Paths &amp; Paved Areas</u> n/a	Note				
31	<u>Boundary Walls, Fences &amp; Gates</u> n/a	Note				
32	<u>Outbuildings &amp; Covered Ways</u> Shade canopies - assumed new	m2	116	1,000	116,000	
33	General allowance	Note	n/a			
34	<u>Landscaping &amp; Improvements</u> Street furniture allowance	Note	n/a			
35	Entry feature	Item	1		5,000	
36	External Wayfinding & Signage	Item	1		5,000	126,000
	<b><u>External Services</u></b>					
37	Note: modifications to existing only	Note				
38	Stormwater	Item	1	5,000	5,000	
39	Sewer	Item	1	5,000	5,000	
40	Water Supply	Item	1	3,000	3,000	
41	Gas Supply	Item	1	3,000	3,000	
42	Fire water supply and hydrants	Item	1	5,000	5,000	
43	Electrical supply	Item	1	5,000	5,000	
44	External lighting allowance	Item	1	5,000	5,000	
45	Communications supply	Item	1	3,000	3,000	34,000
46	Sub-Total (net cost)				2,086,025	2,086,025
47	Design Contingency					103,975
48	<b>Sub-Total (Construction Cost)</b>					<b>2,190,000</b>
49	Construction Contingency					220,000
50	Headworks and Statutory Charges					30,000
51	Building Act Compliance					10,000
52	Public Art					20,000
53	Loose Furniture (FFE)					130,000
54	Professional Fees (Consultants)					260,000
55	Shire Direct Costs					Excluded
56	Gross Project Cost (current)					2,860,000
57	Escalation to Tender (assume commencement July 2019)					100,000
58	<b>Estimated Total Commitment</b>					<b>2,960,000</b>
59	GST					296,000
60	<b>Total</b>					<b>3,256,000</b>

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REF	SCOPE	Unit	QTY	RATE	SUB-TOTAL	TOTAL (\$)
	<b><u>ORTON ROAD - DISTRICT SPORTS SPACE PAVILLION</u></b>					
	<b><u>Building</u></b>					
1	Store	m2	16	1,800	28,800	
2	Home Showers 1	m2	28	2,800	78,400	
3	Home Showers 2	m2	31	2,800	86,800	
4	Ablutions Male	m2	20	2,800	56,000	
5	Ablutions Female	m2	20	2,800	56,000	
6	Home Change Room 1	m2	32	2,500	80,000	
7	Umpire	m2	14	2,500	35,000	
8	Home Change Room 2	m2	32	2,500	80,000	
9	Store	m2	23	1,800	41,400	
10	Club Room / Social Space	m2	191	2,200	420,200	
11	Cleaners	m2	8	2,500	20,000	
12	Bar / Lockable	m2	22	2,500	55,000	
13	Extra over for bar equipment	Item	1	10,000	10,000	
14	Kitchen Store	m2	7	2,000	14,000	
15	Kitchen	m2	25	2,800	70,000	
16	Extra over kitchen equipment	Item	1	20,000	20,000	
17	Away Showers 1	m2	17	2,800	47,600	
18	Away Change 1	m2	28	2,500	70,000	
19	Away Showers 2	m2	17	2,800	47,600	
20	Away Change 2	m2	28	2,800	78,400	
21	Store	m2	31	1,800	55,800	
22	Services	m2	10	2,000	20,000	
23	Circulation	m2	59	2,200	129,800	
	<b><u>Enhancements</u></b>					
24	Bi-folding door 31000 wide	No	1		included	1,600,800
	<b><u>External Works</u></b>					
	<b><u>Site Preparation</u></b>					
	Note: no allowance for demolition					
25	Prepare site / clearing and strip	m2	2,115	10	21,150	
26	Bulk earthworks	m3	2,115	25	52,875	
	<b><u>Roads, Paths &amp; Paved Areas</u></b>					
27	n/a	Note				
	<b><u>Boundary Walls, Fences &amp; Gates</u></b>					
28	n/a	Note				
	<b><u>Outbuildings &amp; Covered Ways</u></b>					
29	Shade canopies	m2	172	1,000	172,000	
30	General allowance	Item	1	10,000	10,000	



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REF	SCOPE	Unit	QTY	RATE	SUB-TOTAL	TOTAL (\$)
	<b><u>ORTON ROAD - DISTRICT SPORTS SPACE PAVILLION</u></b>					
31	<u>Landscaping &amp; Improvements</u> n/a	Note				256,025
	<b><u>External Services</u></b>					
32	Stormwater	Item	1	13,200	13,200	
33	Sewer	Item	1	20,000	20,000	
34	Water Supply	Item	1	10,000	10,000	
35	Gas Supply	Item	1	10,000	10,000	
36	Fire water supply and hydrants	Item	1	10,000	10,000	
37	Electrical supply	Item	1	10,000	10,000	
38	External lighting allowance	Item	1	20,000	20,000	
39	Communications supply	Item	1	10,000	10,000	103,200
40	Sub-Total (net cost)				1,960,025	1,960,025
41	Design Contingency					99,975
42	<b>Sub-Total (Construction Cost)</b>					<b>2,060,000</b>
43	Construction Contingency					210,000
44	Headworks and Statutory Charges					30,000
45	Building Act Compliance					10,000
46	Public Art					20,000
47	Loose Furniture (FFE)					120,000
48	Professional Fees (Consultants)					250,000
49	Shire Direct Costs					Excluded
50	Gross Project Cost (current)					2,700,000
51	Escalation to Tender (assume commencement July 2019)					100,000
52	<b>Estimated Total Commitment</b>					<b>2,800,000</b>
53	GST					280,000
54	<b>Total</b>					<b>3,080,000</b>

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REF	SCOPE	Unit	QTY	RATE	SUB-TOTAL	TOTAL (\$)
	<b>REILLY ROAD DISTRICT SPORTS SPACE PAVILLION</b>					
	<b><u>Building</u></b>					
1	Store	m2	11	1,800	19,800	
2	Umpire	m2	6	2,500	15,000	
3	Cleaner	m2	5	2,500	12,500	
4	Services	m2	7	2,000	14,000	
5	Away Showers 2	m2	18	2,800	50,400	
6	Ablutions Female	m2	13	2,800	36,400	
7	Away Change Room 2	m2	29	2,500	72,500	
8	Ablutions Male	m2	13	2,800	36,400	
9	Store	m2	7	1,800	12,600	
10	Away / Showers 1	m2	18	2,800	50,400	
11	Away Change Room 1	m2	27	2,500	67,500	
12	Kitchen	m2	27	2,800	75,600	
13	Extra over kitchen equipment	Item	1	20,000	20,000	
14	Club Room / Social Space	m2	134	2,200	294,800	
15	Home Showers 1	m2	17	2,800	47,600	
16	Home Change Room 1	m2	26	2,500	65,000	
17	Home Showers 2	m2	17	2,800	47,600	
18	Home Change Room 2	m2	26	2,500	65,000	
19	Bar	m2	15	2,500	37,500	
20	Extra over for bar equipment	Item	1	10,000	10,000	
21	Circulation	m2	40	2,200	88,000	
	<b><u>Enhancements</u></b>					
22	Bi-folding door 19200 wide	No	1		included	1,138,600
	<b><u>External Works</u></b>					
	<b><u>Site Preparation</u></b>					
23	Note: no allowance for demolition					
24	Prepare site / clearing and strip	m2	960	10	9,600	
25	Bulk earthworks	m3	960	25	24,000	
	<b><u>Roads, Paths &amp; Paved Areas</u></b>					
26	Feature paving	m2	411	140	57,540	
	<b><u>Boundary Walls. Fences &amp; Gates</u></b>					
27	n/a	Note				
	<b><u>Outbuildings &amp; Covered Ways</u></b>					
28	Shade canopies	m2	80	1,000	80,000	
29	General allowance	Item	1	5,000	5,000	

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REF	SCOPE	Unit	QTY	RATE	SUB-TOTAL	TOTAL (\$)
	<b>REILLY ROAD DISTRICT SPORTS SPACE PAVILLION</b>					
	<u>Landscaping &amp; Improvements</u>					
30	Landsaped seating	m	35	500	17,500	208,040
31	Ramp, 1650 wide	m	12	1,200	14,400	
	<u>External Services</u>					
32	Stormwater	Item	1	9,140	9,140	99,140
33	Sewer	Item	1	20,000	20,000	
34	Water Supply	Item	1	10,000	10,000	
35	Gas Supply	Item	1	10,000	10,000	
36	Fire water supply and hydrants	Item	1	10,000	10,000	
37	Electrical supply	Item	1	10,000	10,000	
38	External lighting allownace	Item	1	20,000	20,000	
39	Communications supply	Item	1	10,000	10,000	
40	Sub-Total (net cost)				1,445,780	1,445,780
41	Design Contingency					74,220
42	<b>Sub-Total (Construction Cost)</b>					<b>1,520,000</b>
43	Construction Contingency					150,000
44	Headworks and Statutory Charges					20,000
45	Building Act Compliance					10,000
46	Public Art					20,000
47	Loose Furniture (FFE)					90,000
48	Professional Fees (Consultants)					180,000
49	Shire Direct Costs					Excluded
50	Gross Project Cost (current)					1,990,000
51	Escalation to Tender (assume commencement July 2019)					70,000
52	<b>Estimated Total Commitment</b>					<b>2,060,000</b>
53	GST					206,000
54	<b>Total</b>					<b>2,266,000</b>

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REF	SCOPE	Unit	QTY	RATE	SUB-TOTAL	TOTAL (\$)
	<b><u>BYFORD SKATE PARK - EXTENSION</u></b>					
	<b>Skate Park</b>					
1	Note: Existing skate park constructed in Stage 1 (already complete). These works are works that surround the Stage 1 Skate Park such as new shade structure, basket ball shoot, stage, associated paving and landscaping	Note				
2	Allowance for minor modifications	Item	1	25,000	25,000	
	<b><u>Site Preparation</u></b>					
3	Sundry demolition (undefined)	Item	1	20,000	20,000	
4	Remove mature tree	No	10	1,000	10,000	
5	Prepare site / clearing and strip	m2	630	10	6,300	
6	Bulk earthworks	m3	630	25	15,750	
	<b><u>Roads, Paths &amp; Paved Areas</u></b>					
7	Pedestrian paving (feature)	m2	314	140	43,960	
8	Stage paving	m2	57	140	7,980	
9	Stage steps	m	34	500	17,000	
10	Paving to basket ball shoot	m2	17	120	2,040	
11	Entry steps 4000 wide x 2500 x 1200 high in 6 risers	No	1	5,000	5,000	
	<b><u>Boundary Walls, Fences &amp; Gates</u></b>					
12	Retaining walls av 1m high	m	24	500	12,000	
	<b><u>Outbuildings &amp; Covered Ways</u></b>					
13	Shade canopy over skate park	m2	56	1,000	56,000	
14	Shade canopy to entry	m2	58	1,000	58,000	
	<b><u>Landscaping &amp; Improvements</u></b>					
15	Basket ball backboard, hoop and post	No	1	10,000	10,000	
16	Grass lawn area	m2	23	80	1,840	
17	General landscaping	m2	299	120	35,880	
18	Feature planters	Item	1	10,000	10,000	
19	Street furniture allowance	Item	1	10,000	10,000	
20	Entry feature	Item	1	10,000	10,000	
21	Wayfinding signage	Item	1	10,000	10,000	
	<b><u>Water Supply</u></b>					
22	Allowance for site hose cocks	Item	1	10,000	10,000	
23	Allowance for drinking fountain	No	1	5,000	5,000	
	<b><u>External Electrical</u></b>					
24	Lighting poles including lights	No	12	15,000	180,000	561,750

SHIRE OF SERPENTINE JARRAHDALE  
COMMUNITY INFRASTRUCTURE  
CONCEPT ESTIMATE REV 2



21/01/2019

REF	SCOPE	Unit	QTY	RATE	SUB-TOTAL	TOTAL (\$)
25	Sub-Total (net cost)				561,750	561,750
26	Design Contingency					28,250
27	<b>Sub-Total (Construction Cost)</b>					<b>590,000</b>
28	Construction Contingency					60,000
29	Headworks and Statutory Charges					10,000
30	Building Act Compliance					3,000
31	Public Art					7,000
32	Loose Furniture (FFE)					n/a
33	Professional Fees (Consultants)					70,000
34	Shire Direct Costs					Excluded
35	Gross Project Cost (current)					740,000
36	Escalation to Tender (assume commencement July 2019)					30,000
37	<b>Estimated Total Commitment</b>					<b>770,000</b>
38	GST					77,000
39	<b>Total</b>					<b>847,000</b>

21/01/2019

REF	SCOPE	Unit	QTY	RATE	SUB-TOTAL	TOTAL (\$)
	<b><u>BYFORD SKATE PARK - STAGE 2</u></b>					
	<b>Skate Park</b>					
40	Works associated with lower Skate Park and surrounds	Note				
41	Skate park	m2	206	1,000	206,000	
42	Skateable elements	m	27	500	13,500	
	<b><u>Site Preparation</u></b>					
43	Sundry demolition (undefined)	Item	1	20,000	20,000	
44	Remove mature tree	No	10	1,000	10,000	
45	Prepare site / clearing and strip	m2	518	10	5,180	
46	Bulk earthworks	m3	518	25	12,950	
	<b><u>Roads, Paths &amp; Paved Areas</u></b>					
47	Pedestrian paving (feature)	m2	57	140	7,980	
48	Steps 3000 wide x 600 x 600 high in 3 risers	No	1	5,000	5,000	
	<b><u>Boundary Walls, Fences &amp; Gates</u></b>					
49	Retaining walls av 1m high	m	28	500	14,000	
	<b><u>Outbuildings &amp; Covered Ways</u></b>					
50	No allowance	Note				
	<b><u>Landscaping &amp; Improvements</u></b>					
51	Work to existing playground - no allowance	Note				
52	Parkour elements	m	23	1,000	23,000	
53	General landscaping	m2	256	120	30,720	
54	Feature planters	Item	1	10,000	10,000	
55	Street furniture allowance	Item	1	10,000	10,000	
56	Entry feature	Item	1		refer Stage 1	
57	Wayfinding signage	Item	1	5,000	5,000	
	<b><u>Water Supply</u></b>					
58	Allowance for site hose cocks	Item	1	10,000	10,000	
59	Allowance for drinking fountain	No	1	5,000	5,000	
	<b><u>External Electrical</u></b>					
60	Lighting poles including lights	No	12	15,000	180,000	568,330

SHIRE OF SERPENTINE JARRAHDAL  
COMMUNITY INFRASTRUCTURE  
CONCEPT ESTIMATE REV 2



21/01/2019

REF	SCOPE	Unit	QTY	RATE	SUB-TOTAL	TOTAL (\$)
61	Sub-Total (net cost)				568,330	568,330
62	Design Contingency					31,670
63	<b>Sub-Total (Construction Cost)</b>					<b>600,000</b>
64	Construction Contingency					60,000
65	Headworks and Statutory Charges					10,000
66	Building Act Compliance					3,000
67	Public Art					7,000
68	Loose Furniture (FFE)					40,000
69	Professional Fees (Consultants)					70,000
70	Shire Direct Costs					Excluded
71	Gross Project Cost (current)					790,000
72	Escalation to Tender (assume commencement July 2019)					30,000
73	<b>Estimated Total Commitment</b>					<b>820,000</b>
74	GST					82,000
75	<b>Total</b>					<b>902,000</b>

21/01/2019

REF	SCOPE	Unit	QTY	RATE	SUB-TOTAL	TOTAL (\$)
	<b><u>MUNDIJONG WHITBY DISTRICT SKATE PARK</u></b>					
	<b>Skate Park</b>					
1	Skate park	m2	761	1,000	761,000	
2	Skateable elements	m	36	500	18,000	
	<b><u>Site Preparation</u></b>					
3	Sundry demolition (undefined)	Item	1	20,000	20,000	
4	Remove mature tree	No	10	1,000	10,000	
5	Prepare site / clearing and strip	m2	3,350	10	33,500	
6	Bulk earthworks	m3	3,350	25	83,750	
	<b><u>Roads, Paths &amp; Paved Areas</u></b>					
7	Pedestrian paving (feature)	m2	901	140	126,140	
8	Extra over ramping	Item	1	10,000	10,000	
9	Paving to basket ball shoot	m2	70	10,000	700,000	
10	Allowance for steps	Item	1	50,000	50,000	
	<b><u>Boundary Walls, Fences &amp; Gates</u></b>					
11	Retaining walls av 1m high	m	163	500	81,500	
	<b><u>Outbuildings &amp; Covered Ways</u></b>					
12	Shared ablutions	m2	24	3,500	84,000	
13	Shade canopy over shared ablutions	m2	66	1,000	66,000	
14	Pop Up café / Food Stall (Cold shell - fit out by tenant)	m2	21	2,500	52,500	
15	Shade canopy by skate park	m2	110	1,000	110,000	
16	Bus Stop	Item	1		by others	
17	Bike storage	Item	1	25,000	25,000	
	<b><u>Landscaping &amp; Improvements</u></b>					
18	Basket ball backboard, hoop and post	No	1	10,000	10,000	
19	Parkour elements	m	19	1,000	19,000	
20	Parkour elements	No	5	1,000	5,000	
21	Seating area seating	Item	1	10,000	10,000	
22	Grass lawn area	m2	168	80	13,440	
23	General landscaping	m2	2,025	120	243,000	
24	Feature planters	m2	144	150	21,600	
25	Landscape tiered retaining / seats	m	45	500	22,500	
26	Street furniture allowance	Item	1	10,000	10,000	
27	Entry feature	Item	1	10,000	10,000	
28	Wayfinding signage	Item	1	10,000	10,000	
	<b><u>Water Supply</u></b>					
29	Allowance for site hose cocks	Item	1	10,000	10,000	
30	Allowance for drinking fountain	No	1	5,000	5,000	



21/01/2019

REF	SCOPE	Unit	QTY	RATE	SUB-TOTAL	TOTAL (\$)
	<b><u>MUNDIJONG WHITBY DISTRICT SKATE PARK</u></b>					
	<u>External Electrical</u>					
31	Lighting poles including lights	No	23	15,000	345,000	2,965,930
32	Sub-Total (net cost)				2,965,930	2,965,930
33	Design Contingency					149,070
34	<b>Sub-Total (Construction Cost)</b>					<b>3,115,000</b>
35	Construction Contingency					310,000
36	Headworks and Statutory Charges					50,000
37	Building Act Compliance					15,000
38	Public Art					35,000
39	Loose Furniture (FFE)					n/a
40	Professional Fees (Consultants)					350,000
41	Shire Direct Costs					Excluded
42	Gross Project Cost (current)					3,875,000
43	Escalation to Tender (assume commencement July 2019)					140,000
44	<b>Estimated Total Commitment</b>					<b>4,015,000</b>
45	GST					401,500
46	<b>Total</b>					<b>4,416,500</b>

21/01/2019

REF	SCOPE	Unit	QTY	RATE	SUB-TOTAL	TOTAL (\$)
	<b><u>KEIRNAN PARK RECREATION PRECINCT</u></b>					
	<b>STAGE 1</b>					
	<b>Entry Road</b>					
1	Two way entry road complete	m2	11,360	120	1,363,200	
	<b>Buildings &amp; Feature Area</b>					
2	Reference building	m2	298	2,500	745,000	
3	BMX pump track area	m2	4,257	250	1,064,250	
4	Skate Park - refer Separate	Note				
	<b>External Elements</b>					
5	Adventure play area	m2	2,649	120	317,880	
6	Extra over for playground equipment	Item	1	50,000	50,000	
7	Picnic area	m2	6,298	90	566,820	
8	Extra over for covered BBQ's	No	3	20,000	60,000	
9	Paving	m2	4,755	85	404,175	
10	Protected natural area	m2	2,649	15	39,735	4,611,060
	<b>STAGE 2</b>					
	<b>Buildings &amp; Feature Area</b>					
11	National BMX Track Facility	m2	10,156	250	2,539,000	
	<b>External Elements</b>					
12	Parking	m2	4,517	85	383,945	
13	Pavements	m2	4,748	85	403,580	
14	Turfed area	m2	11,178	60	670,680	
15	Landscaping	m2	1,456	80	116,480	4,113,685

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REF	SCOPE	Unit	QTY	RATE	SUB-TOTAL	TOTAL (\$)
	<b><u>KEIRNAN PARK RECREATION PRECINCT</u></b>					
	<b>STAGE 3</b>					
	<b>Buildings &amp; Feature Area</b>					
16	Pavilion Building - Assume as Briggs Park Pavilion	Item	1	3,099,800	3,099,800	
	<b>External Elements</b>					
17	AFL / Cricket ovals	m2	20,545	95	1,951,775	
18	AFL oval	m2	18,167	95	1,725,865	
19	Turf surrounds to ovals	m2	33,653	60	2,019,180	
20	Landscaped area	m2	19,706	80	1,576,480	
21	Retaining allowance	Item	1	50,000	50,000	
22	Landscaped tiered seating	m	370	500	185,000	
23	Play area	m2	1,459	120	175,080	
24	Extra over for play equipment	Item	1	25,000	25,000	
25	Parking	m2	15,154	85	1,288,090	
26	Access road	m2	10,618	85	902,530	
27	Pavements - included in above areas	Note				
28	Lighting to AFL / Cricket oval (assume 200 lux - training standard)	Item	1	720,000	720,000	
29	Lighting to AFL oval (assume 200 lux - training standard)	Item	1	720,000	720,000	14,438,800

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REF	SCOPE	Unit	QTY	RATE	SUB-TOTAL	TOTAL (\$)
	<b><u>KEIRNAN PARK RECREATION PRECINCT</u></b>					
	<b><u>STAGE 4</u></b>					
	<b>Buildings &amp; Feature Area</b>					
30	Main Pavilion - refer separate estimate	Note				
31	Lawn Bowls Pavilion	m2	623	2,700	1,682,100	
	<b>External Elements</b>					
32	Rugby pitch (2 No)	m2	18,222	95	1,731,090	
33	Soccer pitch (2 No)	m2	13,063	95	1,240,985	
34	Hockey pitch (1 No)	m2	5,147	95	488,965	
35	Turf surrounds to pitches	m2	37,350	60	2,241,000	
36	Lawn bowls pitch (4 No) artificial turf	m2	7,081	140	991,340	
37	Lawn bowls surrounds	m2	5,178	60	310,680	
38	Play area	m2	6,197	120	743,640	
39	Extra over for play equipment	Item	1	25,000	25,000	
40	Landscaping / planting areas	m2	4,426	80	354,080	
41	Allowance for retaining	Item	1	50,000	50,000	
42	Parking	m2	4,676	85	397,460	
43	Access road	m2	6,600	85	561,000	
44	Pavements	m2	2,837	85	241,145	
45	Lighting to Rugby pitch (assume 200 lux - training standard)	No	2	500,000	1,000,000	
46	Lighting to Soccer pitch (assume 200 lux - training standard)	No	2	500,000	1,000,000	
47	Lighting to Hockey pitch (assume 200 lux - training standard)	No	1	500,000	500,000	
48	Lighting to bowling greens (assume 200 lux - training standard)	No	4	120,000	480,000	14,038,485

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REF	SCOPE	Unit	QTY	RATE	SUB-TOTAL	TOTAL (\$)
	<b><u>KEIRNAN PARK RECREATION PRECINCT</u></b>					
	<b>STAGE 5</b>					
	<b>Buildings &amp; Feature Area</b>					
49	Baseball / Athletic Pavilion	m2	1,529	2,700	4,128,300	
50	Netball Pavilion	m2	470	2,700	1,269,000	
51	Tennis Pavilion	m2	382	2,700	1,031,400	
	<b>External Elements</b>					
52	Soccer pitch with athletic track surround	m2	14,585	95	1,385,575	
53	Extra over for synthetic athletic track	m2	5,000	105	525,000	
54	Baseball pitch (incl. mound)	m2	11,012	85	936,020	
55	Baseball batting cage	No	2	25,000	50,000	
56	Netball courts (12 No)	m2	5,400	200	1,080,000	
57	Tennis courts (17 No)	m2	4,896	200	979,200	
58	Paved surrounds to netball and tennis courts	m2	19,029	120	2,283,480	
59	Turf surrounds to above	m2	28,929	60	1,735,740	
60	Play area	m2	5,149	120	617,880	
61	Extra over for play equipment	Item	1	25,000	25,000	
62	Landscaping / planting areas	m2	1,494	80	119,520	
63	Allowance for retaining	Item	1	50,000	50,000	
64	Parking	m2	11,682	85	992,970	
65	Access road	m2	4,178	85	355,130	
66	Feature paving	m2	3,479	120	417,480	
67	General paving	m2	5,590	85	475,150	
68	Lighting to Soccer pitch / athletic track (assume 200 lux - training standard)	No	1	500,000	500,000	
69	Lighting to baseball pitch (assume 200 lux - training standard)	No	1	500,000	500,000	
70	Lighting to netball courts (assume 200 lux - training standard)	No	12	60,000	720,000	
71	Lighting to tennis courts (assume 200 lux - training standard)	No	17	45,000	765,000	20,941,845

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REF	SCOPE	Unit	QTY	RATE	SUB-TOTAL	TOTAL (\$)
	<b><u>KEIRNAN PARK RECREATION PRECINCT</u></b>					
	<b>STAGE 6</b>					
	<b>Buildings &amp; Feature Area</b>					
	Note: no scope provided assume the following:					
	<b><u>Building 1 - Aquatic Facility</u></b>					
72	50m pool	Item	1	1,800,000	1,800,000	
73	Leisure pool	Item	1	750,000	750,000	
74	Café	Item	1	600,000	600,000	
75	Change room	Item	1	600,000	600,000	
76	Sundry support facilities	Item	1	1,250,000	1,250,000	5,000,000
	<b><u>Building 2 - Indoor Recreation Centre</u></b>					
77	Indoor Recreation Centre to house 12 multiuse courts (basketball, futsal etc.), gym and associated facilities	m2	20,000	3,000	60,000,000	60,000,000
	<b>External Elements</b>					
78	Landscaped picnic area	m2	34,594	90	3,113,460	
79	Extra over for covered BBQs	No	3	20,000	60,000	
80	Landscaping / planting areas	m2	860	80	68,800	
81	Parking	m2	24,894	85	2,115,990	
82	Access road	m2	3,796	85	322,660	
83	Feature paving	m2	11,662	120	1,399,440	7,080,350
84	Sub-Total (net cost)				130,224,225	130,224,225
85	Design Contingency					6,525,775
86	<b>Sub-Total (Construction Cost)</b>					<b>136,750,000</b>
87	Construction Contingency					13,680,000
88	Headworks and Statutory Charges					2,050,000
89	Building Act Compliance					610,000
90	Public Art					1,520,000
91	Loose Furniture (FFE)					n/a
92	Professional Fees (Consultants)					15,460,000
93	Shire Direct Costs					Excluded
94	Gross Project Cost (current)					170,070,000
95	Escalation to Tender (assume commencement July 2019)					6,230,000
96	<b>Estimated Total Commitment</b>					<b>176,300,000</b>
97	GST					17,630,000
98	<b>Total</b>					<b>193,930,000</b>

21/01/2019

REF	SCOPE	Unit	QTY	RATE	SUB-TOTAL	TOTAL (\$)
	<b><u>ORTON ROAD DISTRICT SPORT SPACE</u></b>					
	<b>Buildings &amp; Feature Area</b>					
1	Pavilion Building - Assume as Briggs Park Pavilion	Item	1	3,255,000	3,255,000	
2	External storage (2 No)	m2	230	1,200	276,000	
	<b>External Elements</b>					
3	AFL oval 1	m2	18,013	95	1,711,235	
4	AFL oval 2	m2	17,908	95	1,701,260	
5	Turf surrounds to ovals	m2	44,699	60	2,681,940	
6	Landscaped area	m2	35,511	80	2,840,880	
7	Retaining allowance	Item	1	50,000	50,000	
8	Landscaped tiered seating	m	645	500	322,500	
9	Play area	m2	2,684	120	322,080	
10	Extra over for play equipment	Item	1	25,000	25,000	
11	Parking	m2	5,849	85	497,165	
12	Access road	m2	5,766	85	490,110	
13	Feature paving	m2	6,417	120	770,040	
14	Lighting to AFL oval (assume 200 lux - training standard)	No	2	720,000	1,440,000	16,383,210
15	Sub-Total (net cost)				16,383,210	16,383,210
16	Design Contingency					821,790
17	<b>Sub-Total (Construction Cost)</b>					<b>17,205,000</b>
18	Construction Contingency					1,720,000
19	Headworks and Statutory Charges					260,000
20	Building Act Compliance					80,000
21	Public Art					190,000
22	Loose Furniture (FFE)					n/a
23	Professional Fees (Consultants)					1,950,000
24	Shire Direct Costs					Excluded
25	Gross Project Cost (current)					21,405,000
26	Escalation to Tender (assume commencement July 2019)					780,000
27	<b>Estimated Total Commitment</b>					<b>22,185,000</b>
28	GST					2,218,500
29	<b>Total</b>					<b>24,403,500</b>

21/01/2019

REF	SCOPE	Unit	QTY	RATE	SUB-TOTAL	TOTAL (\$)
	<b><u>REILLY ROAD DISTRICT SPORT SPACE</u></b>					
	<b>Buildings &amp; Feature Area</b>					
1	Pavilion Building - refer separate estimate	Note				
2	External storage	m2	75	1,200	90,000	
	<b>External Elements</b>					
3	AFL oval 1	m2	17,731	95	1,684,445	
4	Turf surrounds to ovals	m2	10,554	60	633,240	
5	Landscaped area	m2	6,030	80	482,400	
6	Retaining allowance	Item	1	50,000	50,000	
7	Landscaped tiered seating	m	178	500	89,000	
8	Play area	m2	1,025	120	123,000	
9	Extra over for play equipment	Item	1	25,000	25,000	
10	Parking	m2	5,299	85	450,415	
11	Access road	m2			refer Parking	
12	Feature paving	m2	2,084	120	250,080	
13	Lighting to AFL oval (assume 200 lux - training standard)	No	1	720,000	720,000	4,597,580
14	Sub-Total (net cost)				4,597,580	4,597,580
15	Design Contingency					232,420
16	<b>Sub-Total (Construction Cost)</b>					<b>4,830,000</b>
17	Construction Contingency					480,000
18	Headworks and Statutory Charges					70,000
19	Building Act Compliance					20,000
20	Public Art					50,000
21	Loose Furniture (FFE)					n/a
22	Professional Fees (Consultants)					550,000
23	Shire Direct Costs					Excluded
24	Gross Project Cost (current)					6,000,000
25	Escalation to Tender (assume commencement July 2019)					220,000
26	<b>Estimated Total Commitment</b>					<b>6,220,000</b>
27	GST					622,000
28	<b>Total</b>					<b>6,842,000</b>

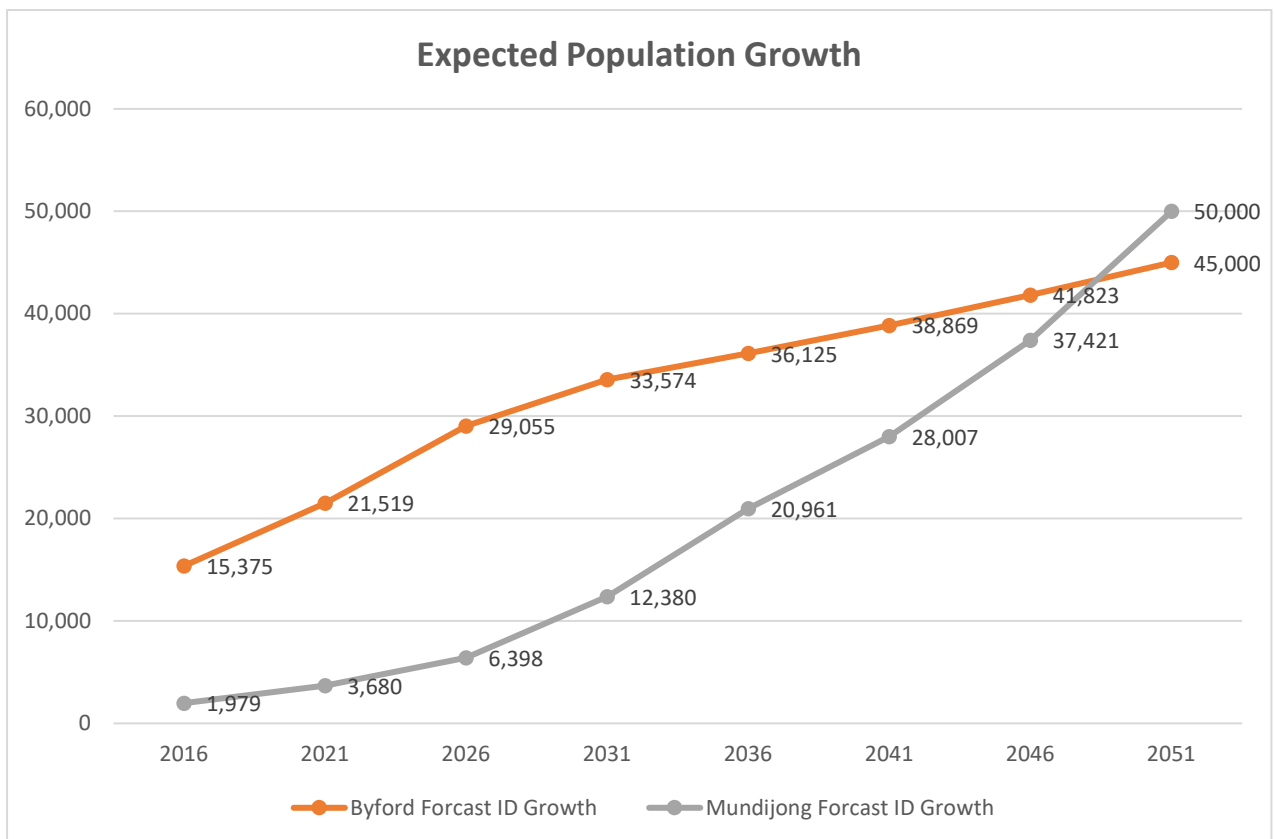


## Appendix 4: Population Forecast and Growth Potential per area

### Expected Population Growth

	2016	2021	2026	2031	2036	2041	2046	2051
Byford DCP area (DCA4)	15,375	21,519	29,055	33,574	36,125	38,869	41,823	45,000
Mundijong DCP area (DCA4)	1,979	3,680	6,398	12,380	20,961	28,007	37,421	50,000

Source: Forecast Id, Byford District Structure Plan and Mundijong District Structure Plan



Service Requirement	Level	Sporting	Date	Community	Level	Service Requirement
District 10,000-30,000. Regional 50,000+	District	S01. Kiernan Park BMX Facility	1/07/2021			
			1/07/2022	B01. Byford Library & Multi-Agency Service Centre - Building	District	25,000-50,000 population
District 15,000 - 25,000	District	B02. Briggs Park Pavilion	1/07/2023			
			1/07/2024	B03. Briggs Park Youth Centre	District	20,000-30,000 population
District Basket Ball and Netball 1 : 4,000 people	District	B04. Briggs Park Recreation Centre Extension	1/07/2025			
District 15,000 - 25,000	District	B05. Orton Road District Sport Space – Building & Lights	1/07/2026			
			1/07/2027	B06. Byford Skate Park – Extension & Pump Track	District	Neighbourhood 5,000-10,000. District 10,000-25,000
			1/07/2028	B08. Lindt Street Themed Playground - Adventure Playground	Neighbourhood	
			1/07/2029			
District 15,000 - 25,000	District	M01. Whitby District Sporting Space Building & Lights	1/07/2030			
			1/07/2031	B07. Cardup Brook Themed Playground - Nature Play	Neighbourhood	
			1/07/2032	M02. Mundijong Whitby Skate Park & Pump Track	District	Neighbourhood 5,000-10,000. District 10,000-25,000
	District	M03. Kiernan Park Recreation Centre extension	1/07/2033			
			1/07/2034			
			1/07/2035	M04. Mundijong Whitby Library & Multi-Agency Service Centre - Building	District	25,000-50,000 population
			1/07/2036			
			1/07/2037	M05. Mundijong Themed Playground - Dog Park	Neighbourhood	
			1/07/2038			
			1/07/2039	B09. The Glades District Community Facility	District	Neighbourhood 5,000-10,000 population
			1/07/2040			

			1/07/2041			
			1/07/2042	M06. Kiernan Park Youth Space	District	20,000-30,000 population
			1/07/2043	M07. Whitby Themed Playground - Adventure Playground	Neighbourhood	
District 15,000 - 25,000	District	B10. Kalimna Sporting Reserve - Ovals, Building & Lights	1/07/2044			
			1/07/2045			
			1/07/2046			
			1/07/2047	M08. Mundijong District Community Facility - Building	District	Neighbourhood 5,000-10,000 population
District 15,000 - 25,000	District	M09. Mundijong District Sporting Space – Building & Lights	1/07/2048			
			1/07/2049	M10. Mundijong Themed Playground - Nature Playground)	Neighbourhood	
District 15,000 - 25,000	District	M11. Kiernan Park District Sporting Space – Ovals, Building & Lights	1/07/2050			
1 : 100,000	District	S02. Kiernan Park Outdoor Aquatic Centre	1/07/2051			

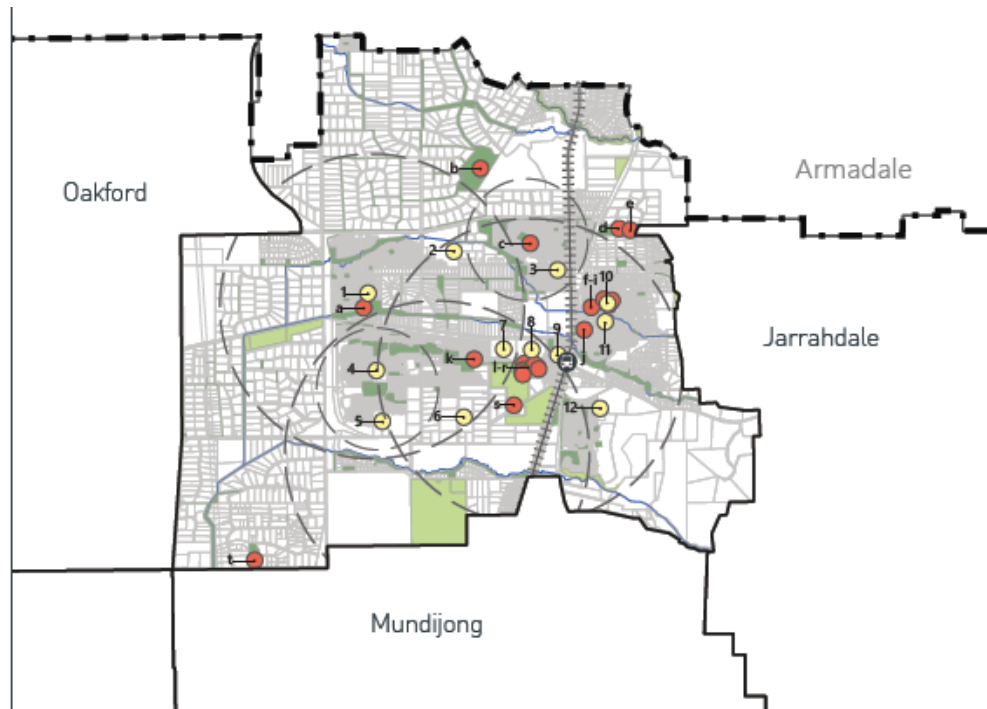
#### Note

All land is to be acquired by the Shire through the traditional development contribution plans and are not included in the CIDCP.

It is important to note that the costs presented in the Community Infrastructure Development Contribution Plan do not have GST added as the Shire is not liable for GST.

## Appendix 5: Community Infrastructure Facilities Catchment Maps

### Byford Community Facilities Catchment Map



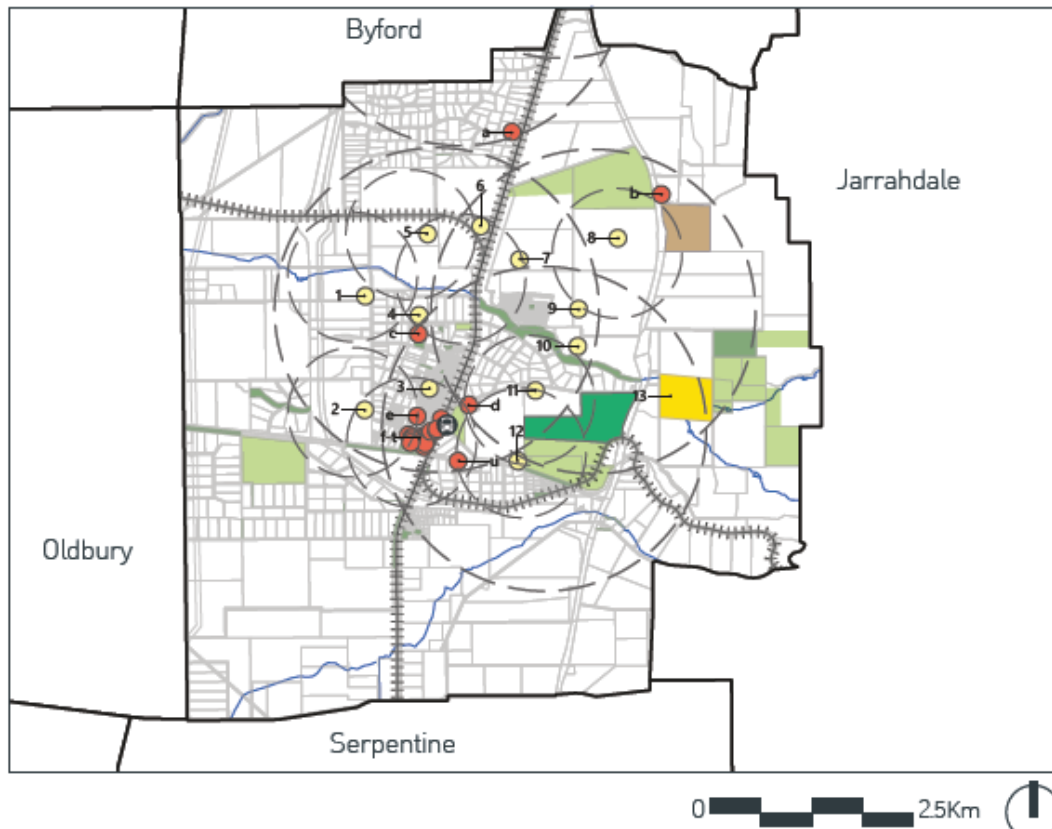
#### COMMUNITY:

- a. Kalimna Storage Facility
- b. Darling Downs Equestrian Facility
- c. **LINDT STREET THEMED PLAYGROUND (B08)**
- d. Byford and District Country Club
- e. Byford Scouts Hall
- f. Byford Fire station
- g. Byford Tennis courts
- h. Byford Community Kindergarten & Childcare
- i. Byford Tennis Facility
- j. Byford Hall and **BYFORD LIBRARY & MULTI AGENCY SERVICE CENTRE (B01)**
- k. **THE GLADES DISTRICT COMMUNITY FACILITY (B09)**
- l. **BRIGGS PARK PAVILION (B02)**
- m. **BRIGGS PARK RECREATION CENTRE EXTENSION (B04)**
- n. BMX Track
- o. **BRIGGS PARK YOUTH CENTRE (B03)**
- p. **BYFORD SKATE PARK – EXTENSION AND PUMP TRACK (B06)**
- q. Canteen, Storage Facility & Toilets
- r. Briggs park change rooms
- s. Brickwood reserve facility
- t. Oakford Riding for the Disabled Association

#### SCHOOLS AND DISTRICT OPEN SPACE:

1. West Byford Primary School and **KALIMNA SPORTING RESERVE (B10)**
2. Proposed Primary School
3. Marri Grove Primary School
4. Woodland Grove Primary School
5. Proposed Primary School
6. **CARDUP BROOK PLAYGROUND (B07) and ORTON ROAD DISTRICT SPORTING SPACE (B05)**
7. Salvado Catholic College
8. Byford Secondary College
9. Byford John Calvin School
10. Byford Community Kindergarten
11. Byford Primary School
12. Proposed Primary School

## Mundijong / Whitby Community Facilities Catchment Map



### COMMUNITY:

- a. Cardup Community Centre
- b. Hendley Motocross Park
- c. Mundijong Community Shed
- d. Mundijong Sale Yards
- e. Shire Depot
- f. Mundijong Skate Park (**TO BE RELOCATED M02**)
- g. **MUNDIJONG DISTRICT COMMUNITY FACILITY (M08)**
- h. The House
- i. Atwell Pavilion
- j. Mundijong Pavilion
- k. **MUNDIJONG WHITBY LIBRARY & MULTI-AGENCY SERVICE CENTRE (M04)**
- l. Mundijong Fire Station
- m. Mundijong netball courts
- n. SES building
- o. Community Resource Centre
- p. Old Railway Station
- q. Landcare
- r. Mundijong Cricket nets
- s. Shire Administration Building
- t. Civic Centre
- u. Shire Dog Pound

### SCHOOLS AND DISTRICT OPEN SPACE:

1. Proposed Primary School
2. Proposed Primary School
3. Mundijong Primary School
4. Proposed High School
5. Proposed Primary School
6. Serpentine Grammar School
7. Proposed Technical School and **WHITBY THEMED PLAYGROUND (M07)**
8. Proposed Primary School
9. Proposed Primary School and **WHITBY DISTRICT SPORTING SPACE (M01)**
10. Proposed High School
11. Proposed Primary School
12. Proposed Primary School
13. **KIERNAN PARK** (Green area):
  - a. **YOUTH CENTRE (M06)**
  - b. **RECREATION CENTRE (M03)**
  - c. **DISTRICT SPORTING SPACE (M11)**
  - d. **BMX RELOCATION & STATE FACILITY (S01)**
  - e. **OUTDOOR AQUATIC CENTRE (S02)**
  - f. **MUNDIJONG THEMED PLAYGROUND (M05)**
  - g. **MUNDIJONG THEMED PLAYGROUND (M10)**
  - h. **MUNDIJONG DISTRICT SPORTING SPACE (M09)**

Appendix 6: Community Infrastructure Cost Contribution Schedule

Percentage cost apportionment for Shire-wide facilities based on projected population growth

Population forecasts and growth / share apportionment	Total Population 2051	Current Population (2018)	Additional population to 2051	New Lots required to 2051	Shire share (% current Population)	DCP Share (% Growth)	Overall Apportioned by Area
Byford	45,000	17,675	27,325	9,455	39%	61%	29%
Mundijong	50,000	2,657	47,343	16,382	5%	95%	50%
Shire							21%
Total	95,000	20,332	74,668	25,837			100%

Percentage cost apportionment for District and Neighborhood facilities

DCP Cost of Infrastructure	Cost of Infra	Dwellings	Cost per Lot	Average
Shire Portion	\$ 22,562,108			
Byford DCP Area	\$ 29,745,683	9,455	\$ 3,146	\$ 3,641
Mundijong DCP Area	\$ 67,744,503	16,382	\$ 4,135	
Total	\$ 120,052,295	25,837		

Based on projected population growth

**Note:** The Mundijong Current population is the Forecast Id Estimated Resident Population minus the population estimated for 325 lots already developed in Whitby. These lots have been included in the “New Lots” forecast, to account for the development contribution agreements in place for this estate.

## Community Infrastructure Projects Summary Table

Ref	Project Description	Design & Concepts based on	Catchment	Shire Funding	Community Development Contribution Plan		Total Costs	Community DCP Funding			Shire Funding
					Mundijong-Whitby	Byford		Mundijong-Whitby	Byford	Total DCP Funding	
B01	Byford Library & Multi-Agency Service Centre - Building	Library and Multi-Purpose Service Centre - RBB	Byford	39%	0%	61%	\$ 8,440,567	\$ -	\$ 5,148,746.07	\$ 5,148,746.07	\$ 3,291,821.26
B02	Briggs Park Pavilion	Briggs Park Pavilion - RBB	Byford	39%	0%	61%	\$ 4,545,128	\$ -	\$ 2,772,528.20	\$ 2,772,528.20	\$ 1,772,599.99
B03	Briggs Park Youth Centre	Briggs Park Youth Centre / Briggs Park Youth Centre Refurbishment	Byford	39%	0%	61%	\$ 3,256,000	\$ -	\$ 1,986,160.00	\$ 1,986,160.00	\$ 1,269,840.00
B04	Briggs Park Recreation Centre Extension	Keirnan Park Recreation Precinct Stage 6 Building 2 - Indoor Recreation Centre	Byford	39%	0%	61%	\$ 8,347,481	\$ -	\$ 5,091,963.20	\$ 5,091,963.20	\$ 3,255,517.45
B05	Orton Road District Sport Space - Building & Lights	Orton Road – District Sport Space / Orton Road - District Sports Space and Orton Road – District Sport Space Pavilion	Byford	39%	0%	61%	\$ 4,365,537	\$ -	\$ 2,662,977.72	\$ 2,662,977.72	\$ 1,702,559.52
B06	Byford Skate Park - Extension and Pump Track	Byford Skate Park Stage 2 / Byford Park – Stage 1 and Byford Park Stage 2	Byford	39%	0%	61%	\$ 1,852,974	\$ -	\$ 1,130,314.34	\$ 1,130,314.34	\$ 722,659.99
B07	Cardup Brook Themed Playground - Nature Play	Keirnan Park Recreation Precinct Stage 1	Byford	39%	0%	61%	\$ 1,637,408	\$ -	\$ 998,818.98	\$ 998,818.98	\$ 638,589.18
B08	Lindt Street Themed Playground - Adventure Playground	Keirnan Park Recreation Precinct Stage 1	Byford	39%	0%	61%	\$ 1,637,408	\$ -	\$ 998,818.98	\$ 998,818.98	\$ 638,589.18
B09	The Glades District Community Facility - Building	District Community Centre	Byford	39%	0%	61%	\$ 4,003,274	\$ -	\$ 2,441,997.05	\$ 2,441,997.05	\$ 1,561,276.80
B10	Kalimna Sporting Reserve - Ovals, Building & Lights	District Sport Space / Reilly Road District Sports Space and Reilly Road Sports Space Pavilion	Byford	39%	0%	61%	\$ 4,858,026	\$ -	\$ 2,963,395.80	\$ 2,963,395.80	\$ 1,894,630.10
M01	Whitby District Sports Space - Building & Lights	District Sport Space / Reilly Road District Sports Space and Reilly Road Sports Space Pavilion	Mundijong	5%	95%	0%	\$ 2,888,486	\$ 2,744,061.61	\$ -	\$ 2,744,061.61	\$ 144,424.30
M02	Mundijong Whitby Skate Park & Pump Track	Mundijong Whitby District Skate Park	Mundijong	5%	95%	0%	\$ 4,283,801	\$ 4,069,611.26	\$ -	\$ 4,069,611.26	\$ 214,190.07
M03	Kiernan Park Recreation Centre Extension	Keirnan Park Recreation Precinct	Mundijong	5%	95%	0%	\$ 22,397,414	\$ 21,277,543.15	\$ -	\$ 21,277,543.15	\$ 1,119,870.69
M04	Mundijong Whitby Library & Multi-Agency Service Centre - Building	Library and Multi-Agency Service Centre	Mundijong	5%	95%	0%	\$ 8,440,567	\$ 8,018,538.96	\$ -	\$ 8,018,538.96	\$ 422,028.37
M05	Mundijong Themed Playground - Dog Park	Keirnan Park Recreation Precinct Stage 1	Mundijong	5%	95%	0%	\$ 1,637,408	\$ 1,555,537.76	\$ -	\$ 1,555,537.76	\$ 81,870.41
M06	Kiernan Park Youth Centre	Briggs Park Youth Centre	Mundijong	5%	95%	0%	\$ 3,176,142	\$ 3,017,335.28	\$ -	\$ 3,017,335.28	\$ 158,807.12
M07	Whitby Themed Playground - Adventure Playground	Keirnan Park Recreation Precinct Stage 1	Mundijong	5%	95%	0%	\$ 1,637,408	\$ 1,555,537.76	\$ -	\$ 1,555,537.76	\$ 81,870.41
M08	Mundijong District Community Facility - Building	District Community Centre	Mundijong	5%	95%	0%	\$ 4,003,274	\$ 3,803,110.16	\$ -	\$ 3,803,110.16	\$ 200,163.69
M09	Mundijong District Sporting Space – Building & Lights	District Sport Space / Reilly Road District Sports Space and Reilly Road Sports Space Pavilion	Mundijong	5%	95%	0%	\$ 2,888,486	\$ 2,744,061.61	\$ -	\$ 2,744,061.61	\$ 144,424.30
M10	Mundijong Themed Playground - Nature Play	Keirnan Park Recreation Precinct Stage 1	Mundijong	5%	95%	0%	\$ 1,637,408	\$ 1,555,537.76	\$ -	\$ 1,555,537.76	\$ 81,870.41
M11	Kiernan Park District Sporting Space – Ovals, Building & Lights (Stage 3)	Keirnan Park Recreation Precinct	Mundijong	5%	95%	0%	\$ 11,876,845	\$ 11,283,002.28	\$ -	\$ 11,283,002.28	\$ 593,842.23
S01	Kiernan Park BMX relocation and State Facility (Stage 2)	Keirnan Park Recreation Precinct	Shire-Wide	21%	50%	29%	\$ 5,260,787	\$ 2,630,393.46	\$ 1,525,628.21	\$ 4,156,021.67	\$ 1,104,765.25
S02	Kiernan Park Outdoor Aquatic Centre (Stage 6)	Keirnan Park Recreation Precinct	Shire-Wide	21%	50%	29%	\$ 6,980,464	\$ 3,490,232.20	\$ 2,024,334.68	\$ 5,514,566.88	\$ 1,465,897.52
	Totals						\$ 120,052,295	\$ 67,744,503	\$ 29,745,683	\$ 97,490,186	\$ 22,562,108