

DETAILED AREA PLAN R-CODE VARIATIONS

R-CODING

- The R20, R25 and R30 Residential Density Codes apply as identified on the plan.

TOWN PLANNING SCHEME NO.2 AND RESIDENTIAL DESIGN CODE VARIATIONS

- Town Planning Scheme No.2 and Residential Design Codes are varied as described in these notations.
- The requirements of Town Planning Scheme No.2 and Residential Design Codes shall be satisfied in all other matters.
- Planning approval is not required, but a Building Licence is required, for the construction of a dwelling on any lot within the area covered by the Detailed Area Plan (including lots with a land area less than 260 square metres) except where variations to the provisions of the Detailed Area Plan are sought.

DESIGN ELEMENTS

- The following matters apply to the development of lots affected by the Detailed Area Plan:
 - At least one major opening to an indoor living area is to be installed on the northern elevation of a dwelling in order to maximise solar orientation for Lots 1366-1375. For all other lots this design element is encouraged but not required.
 - Dwellings are required to suitably address all adjacent street frontages as indicated to maximise visual surveillance. All visible house elevations (front building line to erected fence) from the secondary street shall feature a suitable level of detail in a manner consistent with the primary street elevation.
 - No solid fencing shall be permitted forward of the established building line.
 - Location of studios and/or balconies abutting laneways is encouraged for increased surveillance through activity.
 - Dwellings on laneway lots shall be designed to address the primary street frontage with major openings and the main entry accessible via this frontage.
 - Lots 1083, 1378-1382 & 1388-1396 that overlook Public Open Space shall be suitably designed and orientated to ensure passive surveillance of the Public Open Space. Dwellings shall have one or more major openings to a habitable room and an outdoor living area facing the POS.
 - On lots designated R25 and R30 (excluding Lots 1270, 1356 & 1376-1377), a storeroom of minimum 4m² floor area shall be integrated into the dwelling and / or garage (i.e. under the same roof) and constructed of the same materials. No additional sheds or outbuildings will be permitted on these lots.
 - For R20 and R25 lots, the minimum open space requirement is 40%.
 - For R30 lots, the minimum open space requirement is 35%.

SETBACKS

- Setbacks for development shall be in accordance with the following: (except where noted, all other setbacks shall be in accordance with R-Codes):

a) R20 (All Lots) & R30 (Lots 1270, 1356 & 1376-1377 only) Front Loaded

- Primary Street: Minimum 3.0m setback to dwelling.
Minimum 4.5m setback to garage.
- Side: For Lots 1383 & 1384, a minimum 1m dwelling setback is permitted to Lowe Way.
For Lots 1270, 1356, 1376 & 1377, a nil side setback is permitted for the dwelling and garage to nominated side boundary for a total maximum length determined by the front and rear setbacks.

b) R30 Laneway (excluding Lots 1270, 1356 & 1376-1377)

- Primary Street: Portion of the dwelling to be located between 2.5m and 3.5m from front boundary.
- Rear: Minimum 1.5m setback to dwelling.
Minimum 0.5m setback to garage.
Nil setback for studio (above garage).
- Side: Nil setback for dwelling and garage to nominated side boundary for a total maximum 2/3 length of boundary.
- Other: Minimum 1m setback to secondary street for corner lots.
Minimum 1.6m side setback to upper storey to preserve solar penetration.

c) R25 Front Loaded Abutting Public Open Space (Lots 1083 & 1388-1396)

- Primary Street: Minimum 3.0m setback to dwelling.
Minimum 4.5m setback to garage.
- POS: Minimum 3.0m setback to dwelling for ground floor.
Minimum 5.0m setback to dwelling for upper stories.
- Side: Nil setback for dwelling (and garage) to nominated side boundary for a total maximum 2/3 length of boundary. For Lots 1379-1381, 1389-1391 & 1393-1395, an additional nil setback is permitted to the opposite boundary for the garage only.
For Lots 1083 and 1392, a 1.5m minimum dwelling setback is permitted to side POS boundaries.
- Other: Minimum 1.6m side setback to upper storey to preserve solar penetration.

d) R25 Laneway Abutting Public Open Space (Lots 1378-1382)

- POS: Minimum 3.0m setback to dwelling for ground floor.
Minimum 5.0m setback to dwelling for upper stories.
- Laneway: Minimum 1.5m dwelling setback.
Minimum 0.5m garage setback.
Nil setback for studio (above garage).
- Side: Minimum 1m setback to secondary street for corner lots.
- Other: Minimum 1.6m side setback to upper storey to preserve solar penetration.

GARAGES AND ACCESS

- For laneway lots, garage locations are to be in accordance with the locations identified on the DAP. Access to the garage shall only be taken from the laneway.
 - Each house shall have a driveway and crossover completed prior to occupation of the house.
 - Maximum width of crossover shall be 6 metres.
 - All driveways and crossovers shall be brick paved or other suitable material (but not asphalt) to the satisfaction of the Shire and Developer.
 - For all lots, no adjoining landowner consultation is required where garages are built with a nil side setback.

FENCING

- All fencing within the estate will be provided and installed by the Developer. No additional fencing (other than side return panels) shall be erected without consultation and approval of the Developer. In the exceptional circumstance that front fencing is permitted, it shall be erected in accordance with the Developer's specific requirements.
 - All side boundary fencing behind the front building line is to be 1.8 metres high and fully installed prior to occupation of the dwelling.

NOTIFICATION TO PROSPECTIVE PURCHASERS

- The Developer is required to give prospective purchasers a complete copy of all the requirements of this Detailed Area Plan prior to Offer and Acceptance being made.



LEGEND

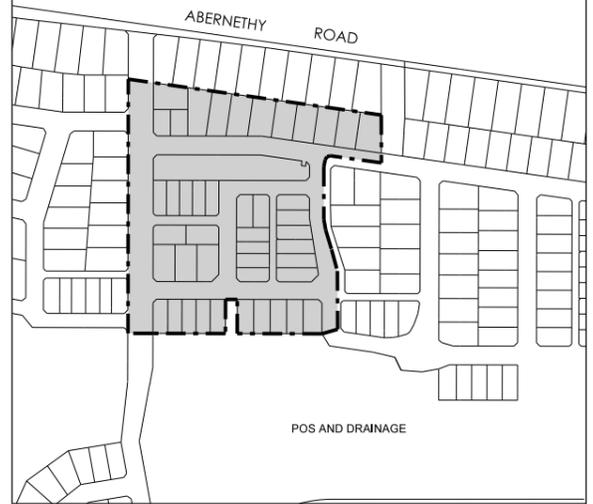
- Extent of Detailed Area Plan
- Existing Trees to be retained where possible
- Building Envelope
- Designated Side Nil Setback
- Designated Garage Location
- Preferred Garage Location
- 1.6m Minimum Setback for Second Storey
- Preliminary Retaining Walls
- No Vehicle Access
- Optional Studio House Preferred Location
- Indicative Stair Access Location
- Second Storey Zone

ENDORSEMENT TABLE

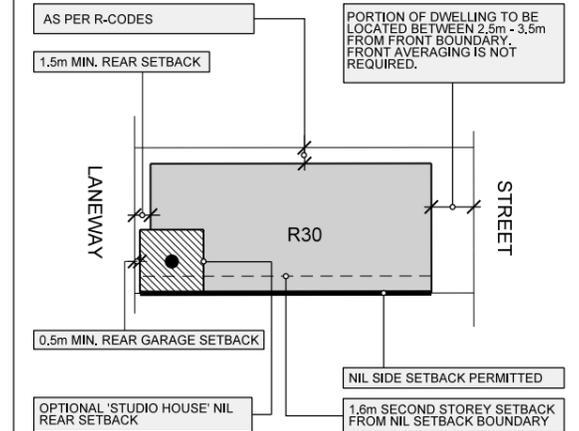
Detailed Area Plan approved pursuant to CI 5.18.5.1 (c) of Town Planning Scheme No.2

Kouros Rudoe 03/10/2013
 Authorised officer Date

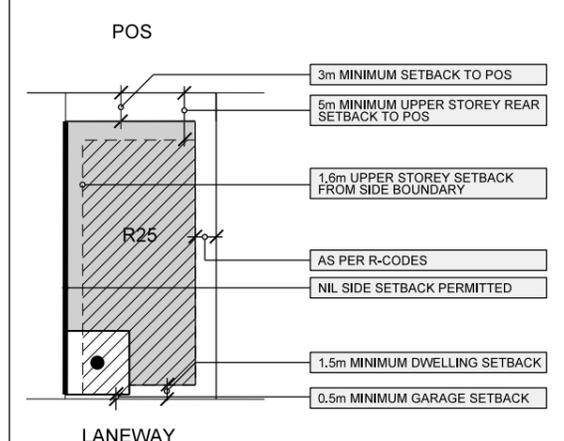
LOCATION PLAN



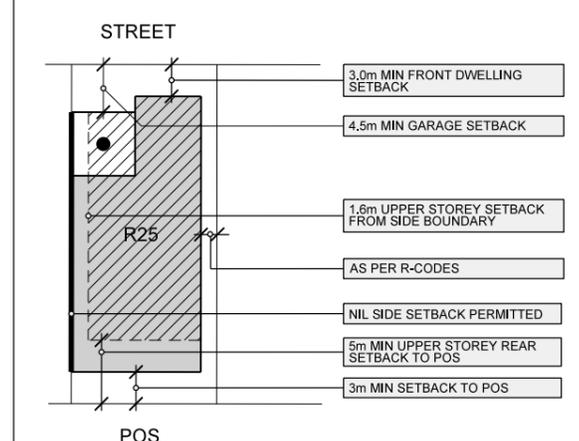
TYPICAL REQUIREMENTS FOR LANEWAY LOTS (1366-1375)



TYPICAL REQUIREMENTS FOR R25 LANEWAY LOTS ABUTTING POS (1378-1382)



TYPICAL REQUIREMENTS R25 LOTS (1083 & 1388-1396)



Detailed Area Plan - Stage 8C (WAPC Ref: 142531)

THE GLADES, BYFORD
 A LWP BYFORD SYNDICATE PTY LTD PROJECT