

Serpentine-Jarrahdale Shire

Town Planning Scheme No. 2

Scheme Amendment No. 180

Text Amendment to Appendix 2 – Special Use Zones to allow for concrete casting business at Lot 60 Robertson Road, Cardup



MINISTER FOR PLANNING

PROPOSAL TO AMEND A TOWN PLANNING SCHEME

LOCAL AUTHORITY	Shire of Serpentine-Jarrahdale
DESCRIPTION OF SCHEME	Town Planning Scheme No. 2
TYPE OF SCHEME	Local Planning Scheme
SERIAL NUMBER OF AMENDMENT	Amendment No. 180
PROPOSAL	Text Amendment to Appendix 2 – Special Use Zones to allow for concrete casting business at Lot 60 Robertson Road, Cardup

PLANNING AND DEVELOPMENT ACT 2005

RESOLUTION DECIDING TO AMEND A
TOWN PLANNING SCHEME

SHIRE OF SERPENTINE-JARRAHDAL TOWN PLANNING SCHEME NO. 2

AMENDMENT NO. 180

RESOLVED that the Council in pursuance of Section 75 of the Planning and Development Act 2005, amend the above Town Planning Scheme by:

1. (i) deleting from Appendix 2 – Special Use Zones the following text:

5. Lot 2 of Serpentine AA Lot 20 and Lot 60 of Serpentine AA Lot 21 Norman Road, Mundijong	Manufacture and distribution of Timber and related products
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- (ii) inserting into Appendix 2 – Special Use Zones the following text:

5. Lot 2 of Serpentine AA Lot 20 and Lot 60 of Serpentine AA Lot 21 Norman Road, Cardup	<p>Concrete casting business; Manufacture and distribution of timber and related products.</p> <p>1. The concrete casting business is limited to Lot 60. In considering any development application, Council may require conditions addressing management of water quality and quantity, potential noise, dust, traffic and revegetation.</p>
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Dated this _____ day of _____ 2012

CHIEF EXECUTIVE OFFICER

SHIRE OF SERPENTINE-JARRAHDALE

TOWN PLANNING SCHEME NO. 2

AMENDMENT NO. 180

SCHEME REPORT

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1.0 Introduction

This report has been prepared by Dykstra Planning in support of a minor scheme text amendment in order to clarify and confirm that expansion to the existing concrete casting business at Lot 60 (No. 394) Robertson Road, Cardup (the "subject land"), is consistent with the objectives of the Scheme and may be considered by Council through a separate formal development application.

1.1 Background

The subject lot is within a Rural zoned area under the Metropolitan Region Scheme (MRS) and is within a Special Use zoning allocated under the Shire of Serpentine - Jarrahdale Town Planning Scheme No.2 (TPS 2). The current zoning enables the land to be used for the manufacturing and distribution of timber and related products (Special Use No.5).

The existing business on the subject land comprises 'Permapole' and 'Permacast', a jointly operated enterprise that has been involved in the manufacture and distribution of timber and timber related products on site for several decades. The timber processed at the facility is used extensively in the formwork for pre-cast concrete products on site, and much of the operations on site involve shared manufacturing processes, machinery and facilities. There is strong demand now for the expansion of 'Permacast' and its concrete casting business. As a consequence, a text amendment to TPS 2 is required in order to clarify that concrete casting in addition to the timber manufacture and distribution is also deemed appropriate and may be considered by Council.

In proposing an amendment to TPS 2, it is recognized that MRS Amendment 1215/41 is currently being progressed to transfer approximately 169ha of Rural zoned land (including the subject land) to the Industrial zone to allow for general and service industrial development of the land. A number of studies associated with the MRS amendment are yet to be finalised including the preparation of a Local Water Management Strategy (LWMS) and Local Structure Plan (LSP) for the whole of the proposed Cardup Industrial Precinct. It is anticipated that the studies required for the precinct could take some time to complete and it could be several years before an appropriate zoning in TPS 2 is in place.

Given the above, and that Permacast is an existing business ready to expand now, it is appropriate that the current TPS 2 text is amended as an interim measure to allow for Council to consider an application for the expansion of the concrete casting business consistent with current demand and the longer term strategic objectives for the land.

2.0 Property Details

Lot 10 and Lot 60 Robertson Road, Cardup comprise Special Use zone No.5 (refer to **Figure 1**) and are therefore both subject to the proposed scheme amendment, however concrete casting activities are limited to Lot 60. As such, the focus of this amendment request is lot 60 and there are not considered to be any implications for Lot 10. A description of Lot 60 is included below.

2.1 Title Description

Lot 60 on Diagram 59263 is wholly contained on Certificate of Title Volume 2672, Folio 276. The property street address is described as 394 Robertson Road, Cardup.

2.2 Location

The subject site is located within the South Eastern Metropolitan Corridor in the Shire of Serpentine-Jarrahdale, approximately 42km south-east of the Perth CBD. The site is located south of the Byford Town Centre, and immediately north of the proposed Mundijong-Whitby District Structure Plan area.

The subject lot is located on the western side of South Western Highway, on the eastern side of Robertson Road, and on the northern side of Norman Road, in Cardup. The subject land is located in an area where properties are already being used for a range of light industrial activities, including timber manufacturing and concrete casting.

The subject land is well located in relation to the surrounding road network as it is located close to the South Western Highway. This is used frequently by trucks and provides a fast and direct connection to both Thomas Road and Mundijong Road which connect to the major regional road network.

2.3 Site Characteristics

Lot 60 is 47.373ha in area and has several variations to the topography across the site. The topography of the subject site is undulating with a generally western aspect. The natural surface height ranges from 65 AHD along the eastern boundary to approximately 52 AHD in the south western corner of the subject site.

Entry to the lot from Robertson Road occurs generally in the centre of the lot, which also forms a delineation between the two components of businesses that operate from the site (Permapole on the northern side of the driveway, and Permacast on the southern side).

The property is characterised by cleared and developed areas as well as areas of native vegetation and Bush Forever. An Aerial Photograph of the site at **Figure 2** depicts the site. The nearest dwelling to the site is approximately 300-400 metres away.

Access to the lot is from Robertson Road, which is of sealed standard. Internal driveways on the lot currently comprise compacted gravel and road base.

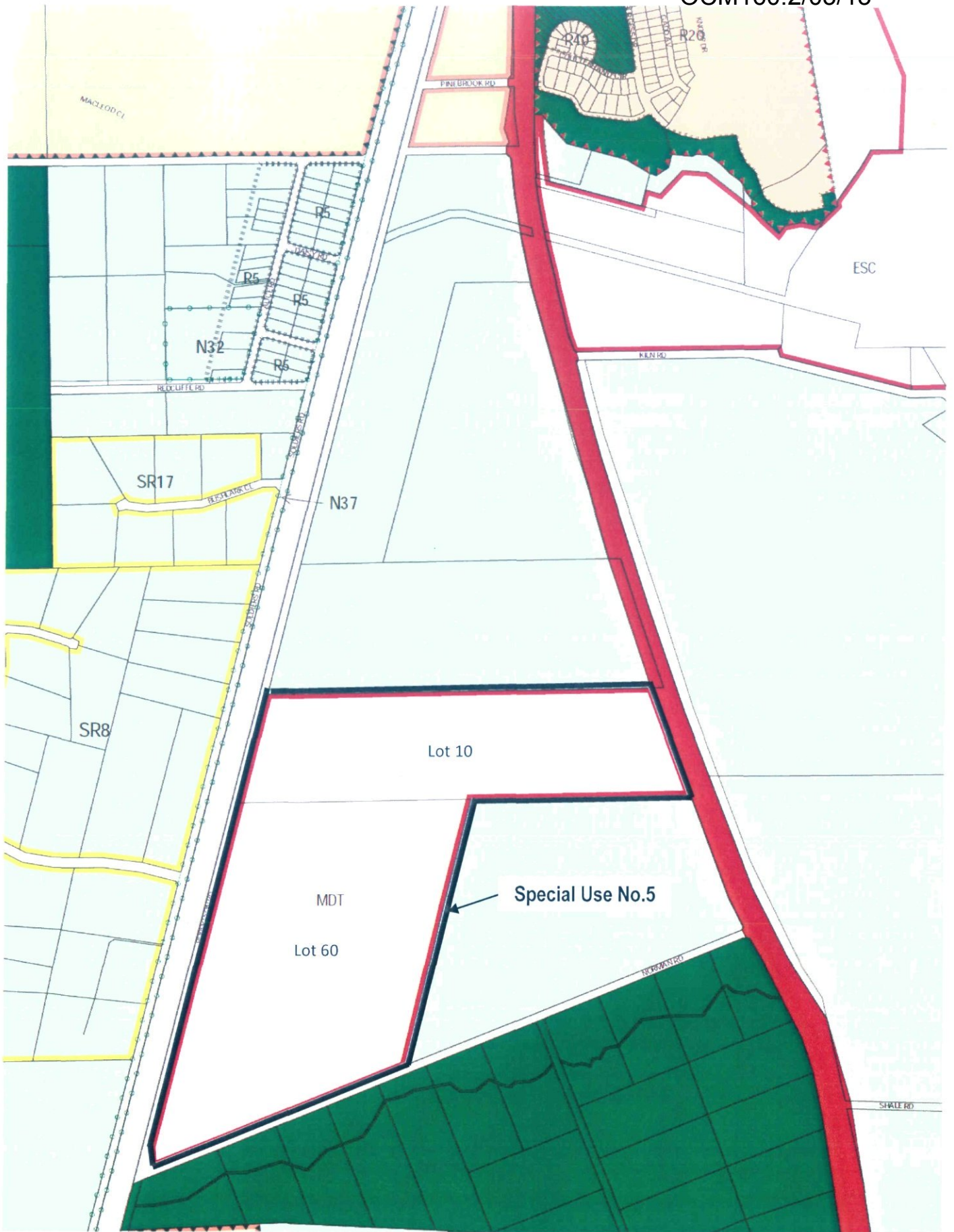


Figure 1

Scheme Map (extract)

Lot 60 (#394) Robertson Road, Cardup



not to scale

April 12

11912-SMF1-120501-A





Figure 2

Aerial Photograph

Lot 60 (#394) Robertson Road, Cardup



April 12

11912-AP-F2-120501-A



2.4 Existing Use

Approximately 1/3 of Lot 60 in the southern-most part comprises existing bushland that has been subject to occasional grazing activities in the past. The remaining area of the subject land is used by the jointly operated enterprise of Permapole and Permacast, which involves the manufacture and distribution of timber and related precast concrete products. These operations function jointly, with labour, machinery, infrastructure and building products being integrated and used jointly in order to manufacture and distribute both the timber/fencing products and the precast concrete products.

3.0 Proposed Scheme Amendment

3.1 Overview

A separate development application for expansion of the Permacast concrete casting business on Lot 60 has been submitted to the Shire of Serpentine-Jarrahdale. Concrete casting on the site is a long established use together with timber processing as outlined previously. The proposed expansion of the Permacast business will include a new 6000m² 'Colorbond' shed for manufacturing and storage, a new gantry crane set up at the rear of the new shed and new office facilities (for both Permapole and Permacast) which will replace old temporary offices. Other improvements proposed for the site include an additional parking area, revegetation and fencing along the Robertson Road frontage, sealing of the access driveways and a stormwater detention and recycling dam that will include a sedimentation trap.

Given the above, and following site meetings and discussions with Shire Planning Staff, it was concluded that the proposed expansion to the Permacast business means that it can no longer be considered incidental to the Permapole (timber processing) business that occurs on site.

In order to recognise the long establish use of the site for concrete casting and in order to enable consideration of the proposed expansion an amendment to the scheme text is proposed.

3.2 Amendment Details

The proposed amendment will modify the text in the Special Use No.5 entry in Appendix 2 of TPS 2.

It is proposed that this will include the following:

- I. Update the Lot details within the "Description of Land" column to which Special Use Zone No.5 relates. Currently the Scheme identifies "Lot 2 of Serpentine AA Lot 20 and Lot 60 of Serpentine AA Lot 21, Norman Road, Mundijong" as being Special Use zone No.5, however discussion with Council planning staff has confirmed that there have been lot number, boundary and suburb name changes such that the Special Use Zone now comprises Lot 10 and Lot 60 Robertson Road, Cardup as reflected on the Scheme Map. It is proposed that the lot detail entry will be updated to reflect the current lot descriptions.
- II. Modification to the description within the "Permitted Use" column to which Special Use Zone No.5 relates. Currently the permitted use is limited to "Manufacture and distribution of Timber and related products". In order to recognise the concrete casting use on the site and the proposed expansion of

the business, this is proposed to be amended to read “Concrete casting business; manufacture and distribution of Timber and related products”.

- III. An additional provision to state that “the concrete casting business is limited to Lot 60. In considering any application, Council may require conditions addressing management of water quality and quantity, potential noise, dust, traffic and revegetation”.

The proposed amended table is included below:

APPENDIX 2 - SPECIAL USE ZONES

Description of Land	Permitted Use
5. Lot 10 and Lot 60 Robertson Road, Cardup.	Concrete casting business; Manufacture and distribution of timber and related products. 1. The concrete casting business is limited to Lot 60. In considering any application, Council may require conditions addressing management of water quality and quantity, potential noise, dust, traffic and revegetation.

4.0 Rationale

- The proposed text amendment recognises the long established use on the subject land. Support for the amendment will ensure that a long established existing operation that urgently needs to expand will not be forced to locate elsewhere.
- The proposed amendment is consistent with the strategic objectives for the land and the intent of the MRS amendment and Structure Plan for the Cardup Industrial Precinct.
- The proposed amendment will facilitate job creation providing a direct benefit to the local area.
- The proposed amendment offers the opportunity for greater controls on any development application for concrete casting and will ensure that matters potentially affecting amenity or the environment will be adequately addressed and managed at the Development Application stage.
- The proposed amendment does not allow for concrete batching but for concrete casting only, within a defined lot accommodating an existing business with a track record of good management practices.
- The proposed amendment will update the land description details for Special Use No.5 which is currently the cause of some confusion.

5.0 Summary and Conclusion

The proposed text amendment will facilitate the expansion of existing operations at Lot 60 Robertson Road, Cardup as described in this report and will provide additional employment for the local area.

This text amendment request is consistent with the objectives of TPS 2 and the proposed MRS amendment and associated studies currently underway for the Cardup Industrial Precinct. It will not undermine Local Structure Planning or result in any adverse impacts on the environment or local amenity.

Given the above, and the detailed rationale contained in this report and supporting documentation, it is respectfully requested that the Council support the above request as described.

PLANNING AND DEVELOPMENT ACT 2005

SHIRE OF SERPENTINE-JARRAHDALÉ

TOWN PLANNING SCHEME NO. 2

AMENDMENT NO. 180

The Council of the Shire of Serpentine-Jarrahdale under and by virtue of the powers conferred upon it in that behalf by the Planning and Development Act 2005 (as amended), hereby amends the above Town Planning Scheme by:

1. (i) deleting from Appendix 2 – Special Use Zones the following text:

5. Lot 2 of Serpentine AA Lot 20 and Lot 60 of Serpentine AA Lot 21 Norman Road, Mundijong	Manufacture and distribution of Timber and related products
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Adopted by Resolution of the Council of the Serpentine-Jarrahdale Shire at the Ordinary Meeting of the Council held on the _____ day of _____ 2012

SHIRE PRESIDENT

CHIEF EXECUTIVE OFFICER

FINAL APPROVAL

ADOPTED for final approval by resolution of the Shire of Serpentine-Jarrahdale at the Ordinary Meeting of Council held on the _____ day of _____ 2012 and the Seal of the Municipality was pursuant to that resolution hereunto affixed in the presence of:

(Seal)

SHIRE PRESIDENT

CHIEF EXECUTIVE OFFICER

Recommended/Submitted

DELEGATED UNDER
S. 16 OF THE PD ACT 2005

Date: _____

Final Approval Granted

MINISTER FOR PLANNING

Date: _____