



Appendix 1

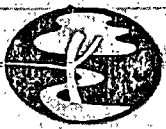
**FORM NO. 1
TOWN PLANNING SCHEME NO. 2**

APPLICATION FOR APPROVAL TO COMMENCE DEVELOPMENT

Note: Please complete form in block letters ONLY

P4623.

Applicant Name:	COREY JONES ARCHITECT.	
Applicant Address:	P.O. Box 150 MARGARET RIVER P/Code 6285	
Applicant Contact Details:	Telephone No: Mobile No: 0417 280 788 Email Address: coreyjones@iinet.net.au.	
Owners Name as shown of Certificate of Title:	RUSSEL PINK ISABEL PINK.	
Owners Contact Details:	Telephone No: 0417 914 074 Mobile No: 0430 436 011 Email Address: russelpink@live.com.au. ipink@bigpond.net.au.	
Description of Land subject of this application:	Lot Number: 94 Street Number: 121 Street Name: RANGEVIEW LOOP Suburb: SERPENTINE	
Type of development proposed:	RESIDENTIAL	
Existing Development and Use:	VACANT.	
Value of the proposed development:	\$ 250,000	
Applicant Signature	1/07/15 Date	Owners Signature Date 1/07/2015
Fee:	Receipt No:	Date:
\$ 800.00	116711	21/7/15



Appendix 2

Note:

The list below only represents the minimum information required to be submitted with the application, at the time of assessment, additional information may be required. The R-Codes and the explanatory notes are available on the DoP website: www.planning.wa.gov.au

		n/a	Yes	No
5.1.1 Site Area	Does the proposed development comply with the required site area.		✓	
5.1.2 Street Setback	Does the proposed development comply with the required street setback as per Table 1.		✓	
5.1.3 Lot Boundary Setback	Does the proposed development comply with the required boundary setbacks as per Table 2a and 2b		✓	
5.1.4 Open Space	Does the proposed development provide the required Open Space as per Table 1		✓	
5.1.6 Building Height	Does the height of the proposed development comply Table 3.		✓	
5.2.1 Setback of garages & carport	Is the garage setback a minimum of 4.5m from the primary street		✓	
5.2.3 Street Surveillance	Does the proposed development comply with the street surveillance requirements.		✓	
5.2.4 Street walls & Fences	Are the front fences visually permeable above 1.2m		✓	
5.3.1 Outdoor living area	Does the proposed development comply with Table 1 outdoor living requirements		✓	
5.3.3 Parking	Can the development provide for a minimum of two (2) car parking spaces		✓	
5.3.8 Retaining walls	Does the development require fill of more than 300mm		✓	
5.4.1 Visual privacy	Does the development have any bedroom or study windows closer than 4.5m to the boundary			✓
	Does the development have any habitable rooms other than bedrooms and studies closer than 6m to the boundary			✓
	Is any unenclosed outdoor active habitable area located closer than 7.5m to the boundary.			✓
5.4.3 Outbuildings	See Local Planning Policy 17	✓		
5.4.5 Utilities & facilities	Does the development provide an enclosed lockable storage with a minimum dimension of 1.5m and a minimum area of 4m ²	✓		
5.5.1 Ancillary Dwellings	Does the proposed ancillary dwelling comply with the requirements (lot area, size) of clause 5.5.1 of the R-Codes	✓		



		n/a	Yes	No
5.5.2 Aged or Dependent persons dwelling	Does the proposed development comply with clause 5.5.2 of the R-Codes	✓		
5.5.3 Single Bedroom Dwelling	Does the proposed development comply with clause 5.5.3 of the R-Codes.	✓		



Appendix 3

SCHEDULE OF MATERIALS

Please complete form in block letters **ONLY**.

Note:

1. Colour – please state the product name and shade (i.e Colourbond “Eucalyptus”)
2. In ‘Other’ for sheds and houses detail any additional trims such as patio posts and fascia’s

Description of Land subject of this application:	Lot Number: <u>94</u> Street Number: <u>121</u>		
	Street Name: <u>RANGEVIEW LOOP</u>		
	Suburb: <u>SERPENTINE</u>		
Building Type		Material	Colour
House / Patio	Walls	<u>Brick</u>	<u>Limestone</u>
	Roof	<u>colourbond</u>	<u>slate</u>
	Gutters	<u>colourbond</u>	<u>slate</u>
	Windows	<u>Aluminium</u>	<u>Black</u>
	Patio	<u>N/A</u>	<u>N/A</u>
	Other	<u>outdoor Entertainment</u>	<u>steel - Black roof - colourbond slate</u>
Outbuilding (Shed, garage)	Walls	<u>Steel - Colourbond</u>	<u>slate</u>
	Roof	<u>Colourbond</u>	<u>slate</u>
	Gutters	<u>Colourbond</u>	<u>slate</u>
	Windows	<u>Aluminium</u>	<u>Black</u>
	Other	<u>N/A</u>	<u>N/A</u>
Driveway		<u>Stone</u>	<u>BLUE METAL</u>
Paths / Paving		<u>Concrete</u>	<u>Grey</u>
Water tanks		<u>N/A</u>	<u>N/A</u>
Other		<u>N/A</u>	<u>N/A</u>



Appendix 4

Note:

The following plans **MUST** be submitted along with the application and **MUST** be drawn to scale. Plans not to scale and drawn freehand will not be accepted.

Site Plan		N/A	Applicant	Assessing Officer
1.	Lot dimensions		✓	
2.	Building Envelope		✓	
3.	Street Names		✓	
4.	North Point		✓	
5.	Existing and proposed buildings (clearly marked)		✓	
6.	Existing natural ground and finished floor levels		✓	
7.	Setbacks (between buildings and boundaries)		✓	
8.	Fencing details (including existing fencing)		✓	
9.	Easements (if shown on Certificate of Title)	✓		
10.	Existing infrastructure / physical features (i.e verge trees, light poles and stormwater gully's)		✓	
11.	Existing vegetation including vegetation to be removed	✓		
12.	Adjoining land use (i.e bushland, reserve, residential, commercial)	✓		
13.	Location of on-site effluent disposal system (including dimensions to structure)		✓	



Floor Plan (Must be drawn to scale, no free-hand drawn plans will be accepted)		N/A	Applicant	Assessing Officer
1.	Floor plan for every storey of the proposed single dwelling		✓	
2.	Use of each room (proposed or existing)		✓	
3.	Location of all windows and doors		✓	
4.	Internal dimensions of each room		✓	

Elevations (north, south, east and west) (Must be drawn to scale, no free-hand drawn plans will be accepted)		N/A	Applicant	Assessing Officer
1.	Detailing window sizes and height from finished floor level		✓	
2.	Detailing door openings		✓	



Planning Application Checklist: Single Dwelling, Patio's and Shed's for land zoned Residential or Urban Development

Note:

Please note the list below is the minimal information required to accompany **ALL** applications, should further information be required you will be contacted by the assessing officer. If the information is not provided at the time of submission the application may not be accepted and may be returned.

One (1) copy of each of the following documentation is to be submitted with the application for a Single – Dwelling, Patio and Shed		N/A	Applicant	Assessing Officer
1.	Planning Application Form (completed in full) (See Appendix 1)		✓	
2.	Copy of Certificate of Title (can be ordered from Landgate www.landgate.wa.gov.au)		✓	
3.	Owners Consent (name and signature to reflect the name on the Certificate of Title)		✓	
4.	Table showing any variations to the Residential Design Codes. (See Appendix 2)		✓	
5.	Detailed justification for each variation listed (4. Above)		✓	
6.	Schedule of Materials (See Appendix 3)		✓	
7.	Locality (can be sourced from Google Earth)		✓	
8.	Overshadowing Plan (as per cl 2.1 of the R-Codes)	✓		
Two (2) copies (to scale) of the following documentation is to be submitted with the application.				
9.	Site Plan, Floor Plans and Elevations drawn to scale no less than 1:500 indicating the information listed in Appendix 4		✓	

Note:

Should you require any assistance with the submission requirements please contact the Shire's Planning Services unit.

COREY JONES ARCHITECT

37 Rangnow Place,
Margaret River
Western Australia, 6285
Mobile 0417 280788
coreyjones@iinet.net.au

30th June 2015

Marcel Bridge
Planning Department
Shire of Serpentine Jarrahdale
6 Paterson Street,
Mundijong
WA 6122

Dear Marcel

JOB No 085**PROPOSED NEW HOUSE AND SHED FOR RUSSELL AND ISABEL PINK AT 121 RANGEVIEW LOOP, SERPENTINE DOWNS, 6125**

We wish to apply for Planning Application for a new House and Shed at 121 Rangeview Loop in Serpentine Downs.

The House will be made of face brick with aluminium Windows, a colourbond Roof and timber weatherboards to the Gables. The Shed will be colourbond sheeting for the Walls and the Roof.

We are asking for planning discretion on two things.

Firstly we would like to have some of the house and all of the shed outside the building envelope. The proposed swimming pool and the ATU system will be within the building envelope. The Setbacks we are proposing still comply with the Guidelines for Rural Living A which the site is zoned. We believe that by building the house with some of it projecting north of the envelope and positioning the shed to the very south of the block we are utilising the property more effectively, making better use of the winter sun and optimising the views of the hills to the east from the house.

Secondly we are asking for permission to construct a shed larger in floor area than what is outlined by the Guidelines for Rural Living A. The proposed shed is 12m x 18m which is 216m². The proposed height of the walls is 4.2m and the ridge will be 5.0m in line with the original planning constraints for the area.

The area is low lying and prone to water inundation. We are proposing to build the House Pad and the area for the ATU to AHD 34600 in line with the guidelines set out by the developer. This will raise the pad height to an average of 850mm above natural ground level. We are proposing to raise the area for the shed by an average of 300mm above natural ground level giving a finished pad level of AHD 34350.

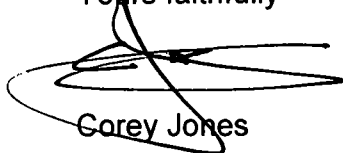
Following are some examples of existing building in the local area that are setback less than 20m from front boundary and examples of sheds built on a lower level than the house.

Please find attached

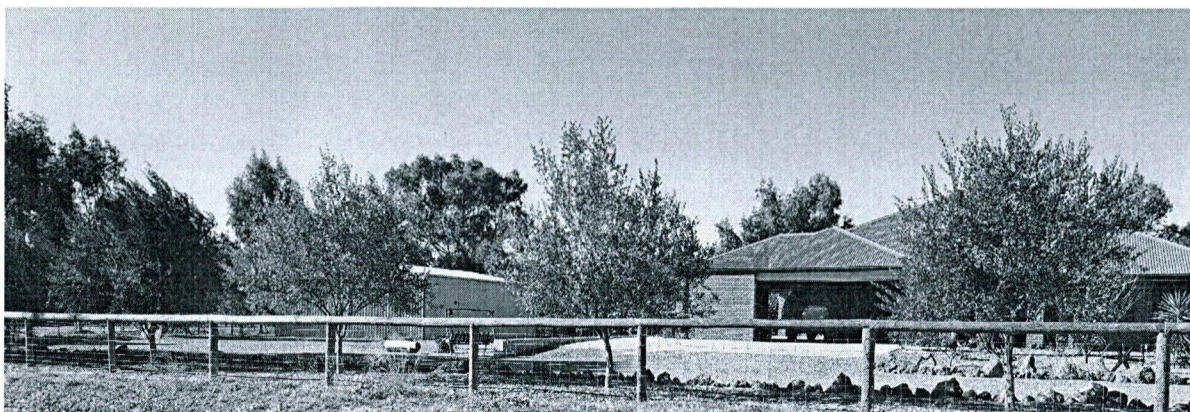
- Completed Application Form
- Current Certificate of Title
- 2 Copies of Drawings No. 085 SD01-05

Please do not hesitate to contact me if you need any more information.

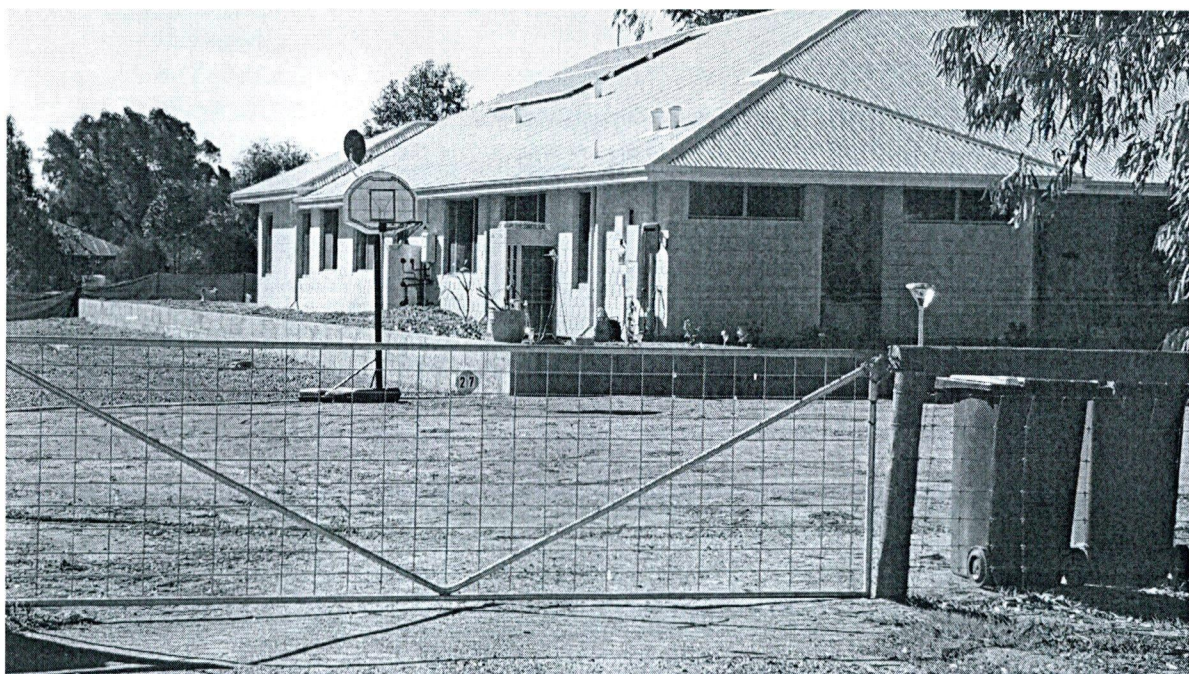
Yours faithfully

A handwritten signature in black ink, appearing to be 'Corey Jones', written over the printed name.

Corey Jones



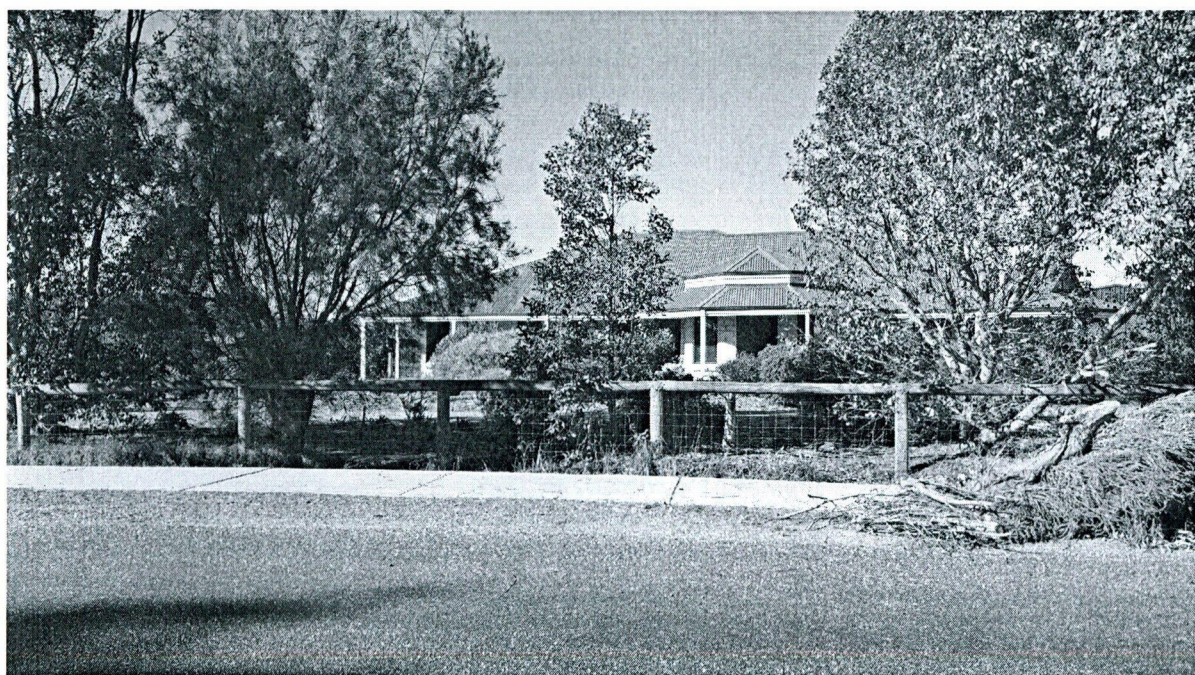
1 Rangeview Loop - Less than 20m front setback and Shed level lower than house.



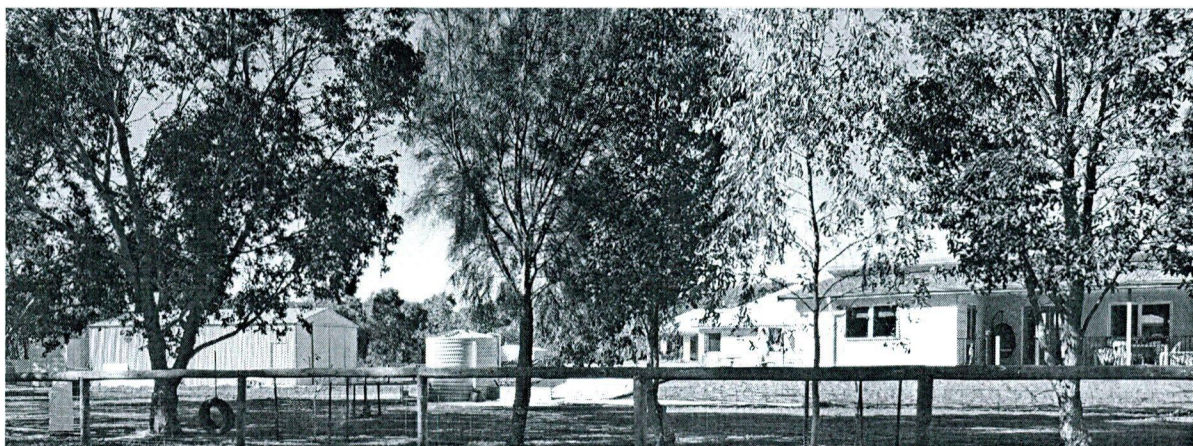
27 Rangeview Loop – Less than 20m front setback



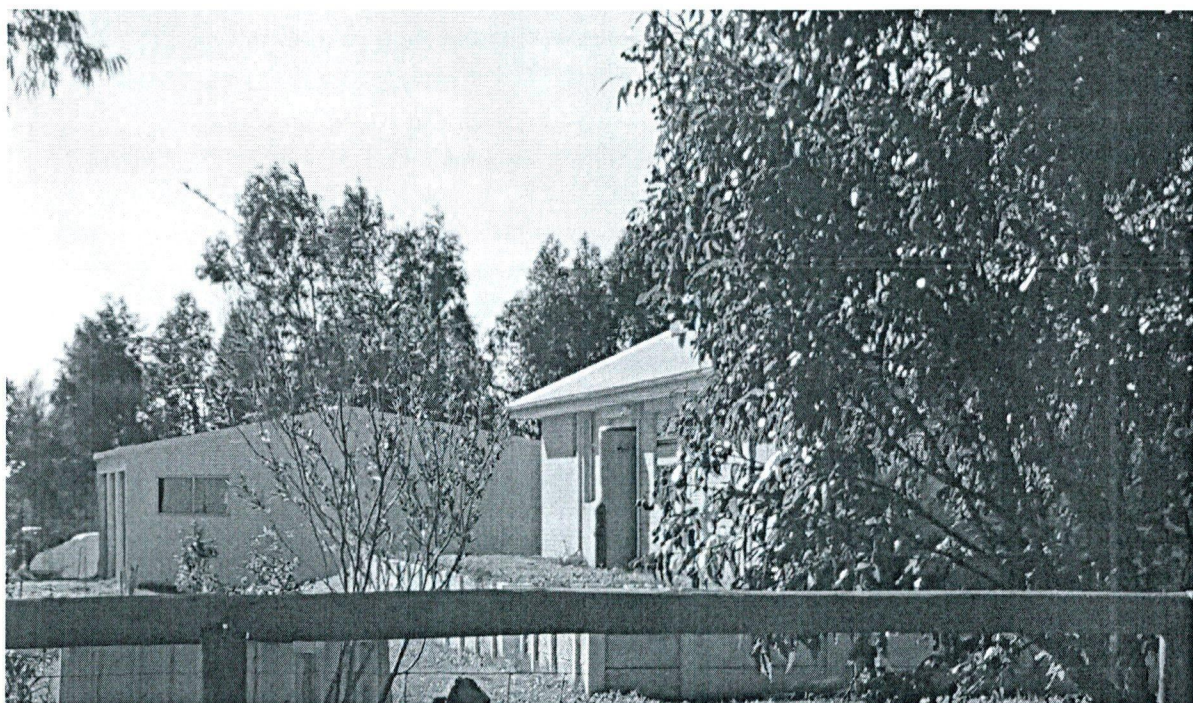
58 Rangeview Loop – Less than 20m front setback.



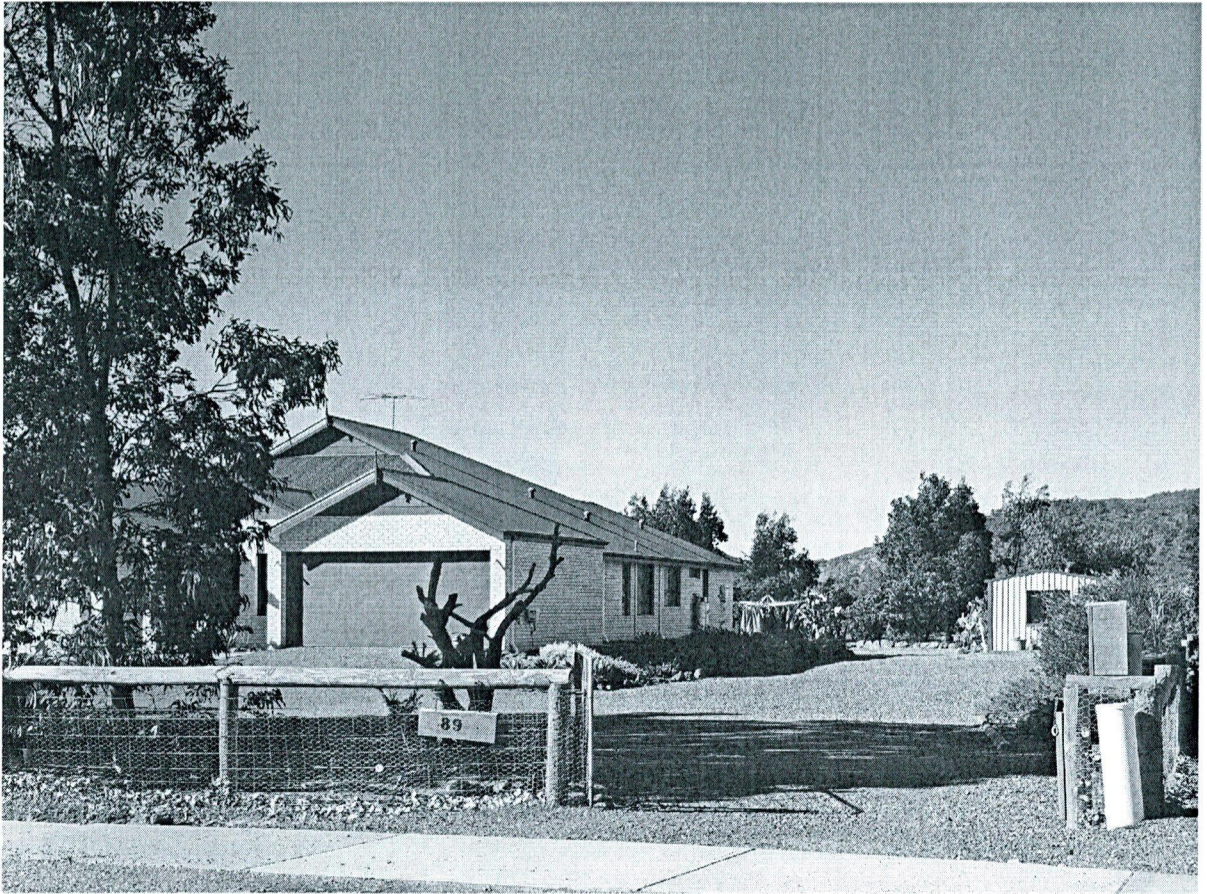
88 Lefroy Street – Less than 20m front setback.



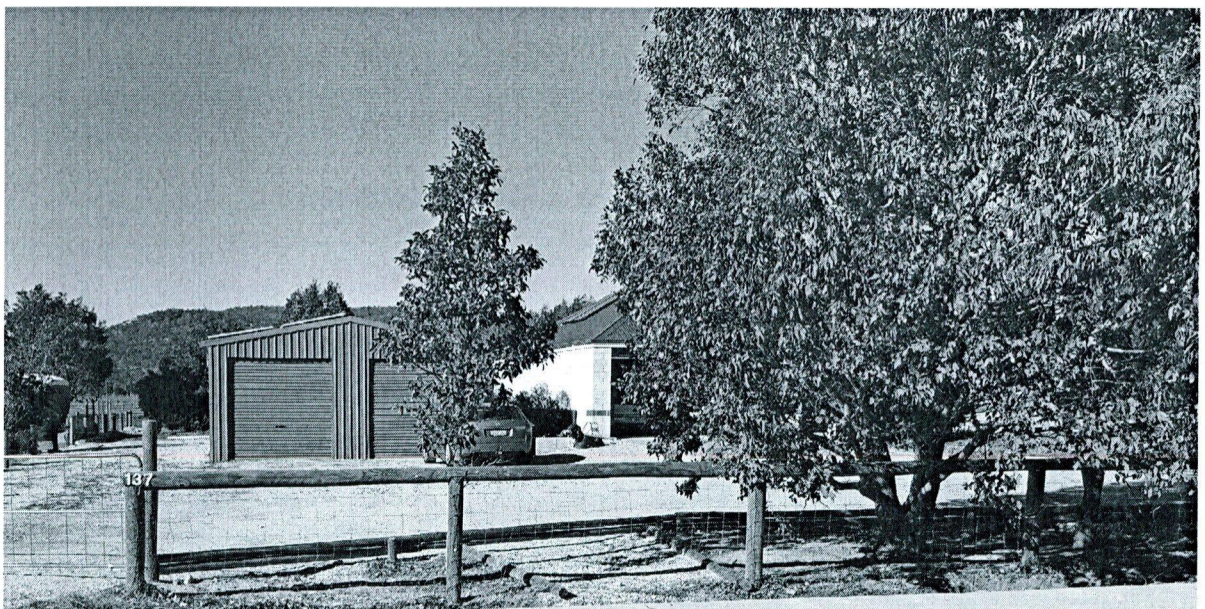
17 Rangeview Loop - Shed Level lower than House



51 Rangeview Loop – Shed level lower than House.



89 Lefroy Street – Shed lower level than House



137 Lefroy Street – Shed lower level than House

75Q
Perth Batch
N000579



WESTERN



AUSTRALIA

REGISTER NUMBER 94/DP403282	
DUPLICATE EDITION 1	DATE DUPLICATE ISSUED 19/5/2015

DUPLICATE CERTIFICATE OF TITLE **UNDER THE TRANSFER OF LAND ACT 1893**

VOLUME
2868

FOLIO
273

The person described in the first schedule is the registered proprietor of an estate in fee simple in the land described below subject to the reservations, conditions and depth limit contained in the original grant (if a grant issued) and to the limitations, interests, encumbrances and notifications shown in the second schedule.



REGISTRAR OF TITLES

LAND DESCRIPTION:

LOT 94 ON DEPOSITED PLAN 403282

REGISTERED PROPRIETOR: **(FIRST SCHEDULE)**

RUSSELL GRANT PINK
MARIA ISABEL PINK
BOTH OF 19 PRICE PARKWAY, BERTRAM
AS JOINT TENANTS

(T N000579) REGISTERED 15 MAY 2015

LIMITATIONS, INTERESTS, ENCUMBRANCES AND NOTIFICATIONS: **(SECOND SCHEDULE)**

1. RESTRICTIVE COVENANT BURDEN - SEE DEPOSITED PLAN 403282 AND INSTRUMENT M934001
2. RESTRICTIVE COVENANT BENEFIT - SEE DEPOSITED PLAN 403282 AND INSTRUMENT M934001

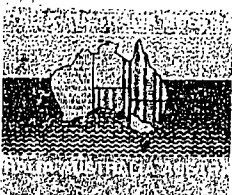
Warning: A current search of the certificate of title held in electronic form should be obtained before dealing on this land.
Lot as described in the land description may be a lot or location.

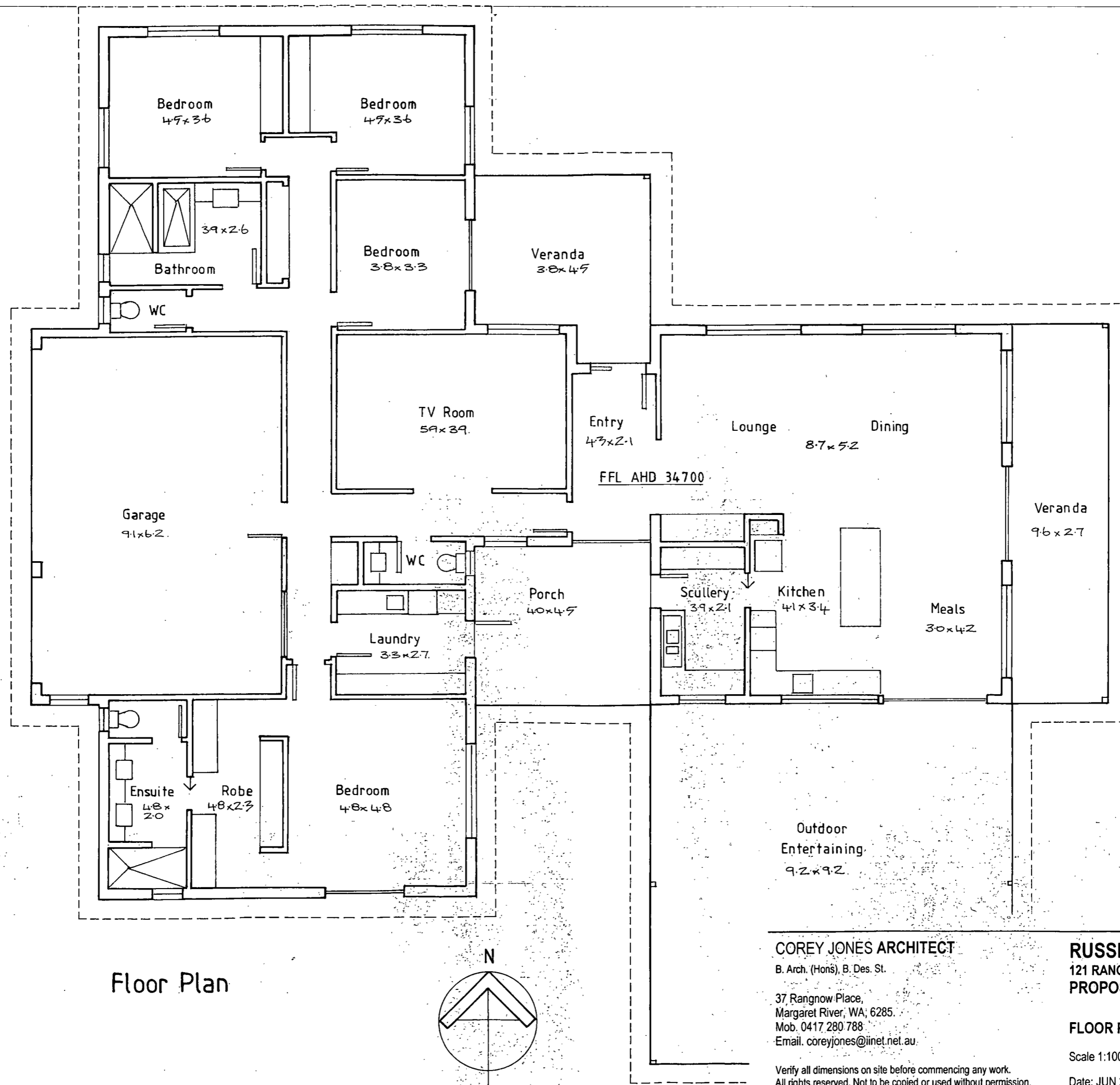
-----END OF DUPLICATE CERTIFICATE OF TITLE-----

STATEMENTS:

The statements set out below are not intended to be nor should they be relied on as substitutes for inspection of the land and the relevant documents or for local government, legal, surveying or other professional advice.

SKETCH OF LAND:	DP403282.
PREVIOUS TITLE:	2776-177.
PROPERTY STREET ADDRESS:	121 RANGEVIEW LOOP, SERPENTINE.
LOCAL GOVERNMENT AREA:	SHIRE OF SERPENTINE-JARRAHDAL.



**COREY JONES ARCHITECT**

B. Arch. (Hons), B. Des. St.

37 Rangnow Place,
Margaret River, WA, 6285.

Mob. 0417 280 788

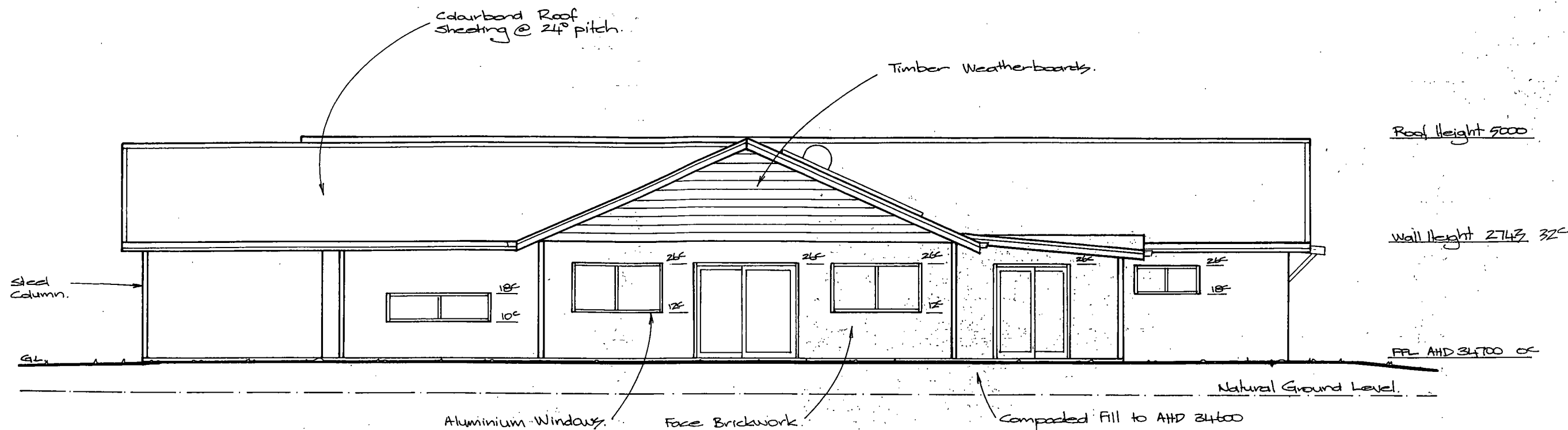
Email. coreyjones@iinet.net.au

RUSSELL & IZY PINK'S HOUSE121 RANGEVIEW LOOP, SERPENTINE DOWNS, 6125
PROPOSED NEW HOUSE**FLOOR PLAN**

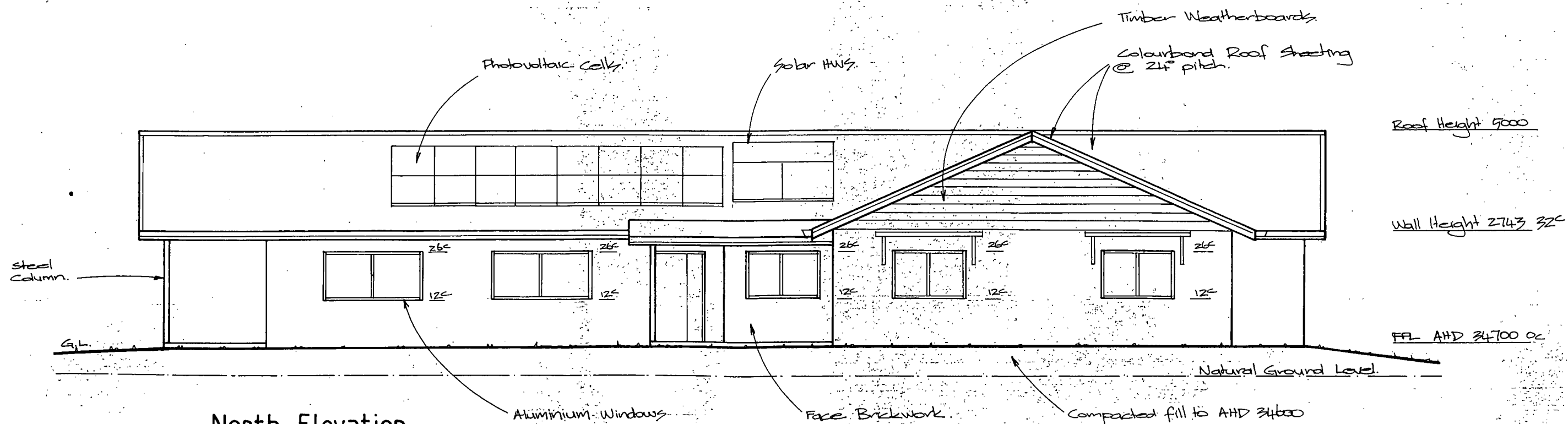
Scale 1:100

Date: JUN 2015

DWG. No. **085 SD 02**Verify all dimensions on site before commencing any work.
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East Elevation



North Elevation

COREY JONES ARCHITECT

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RUSSELL & IZY PINK'S HOUSE

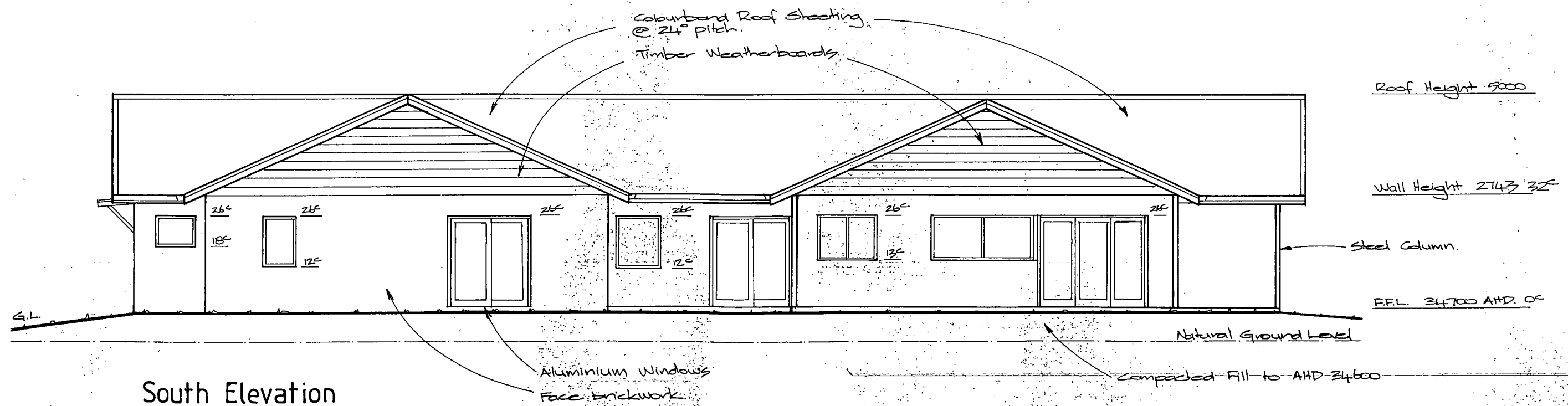
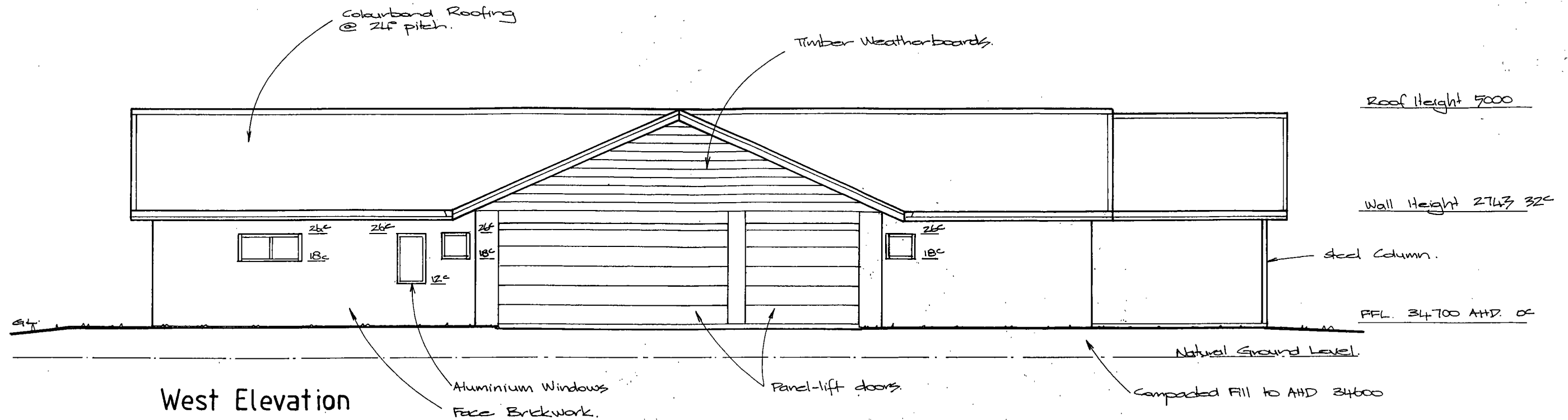
121 RANGEVIEW LOOP, SERPENTINE DOWNS, 6125
PROPOSED NEW HOUSE

EAST & NORTH ELEVATIONS

Scale 1:100

Date: JUN 2015

DWG. No. 085 SD 03



COREY JONES ARCHITECT

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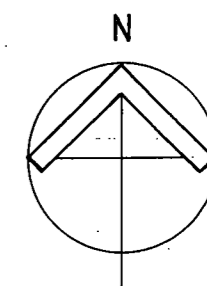
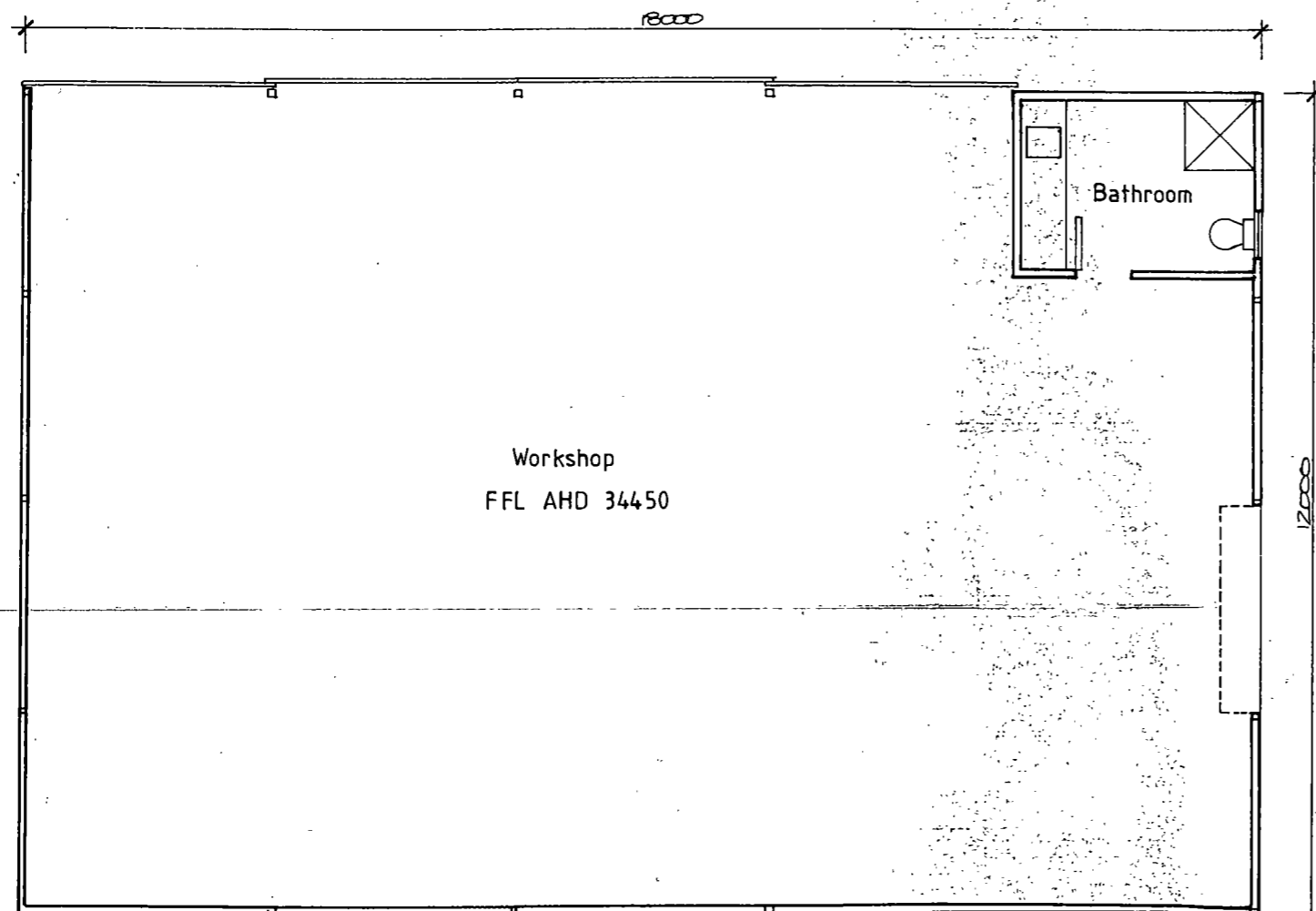
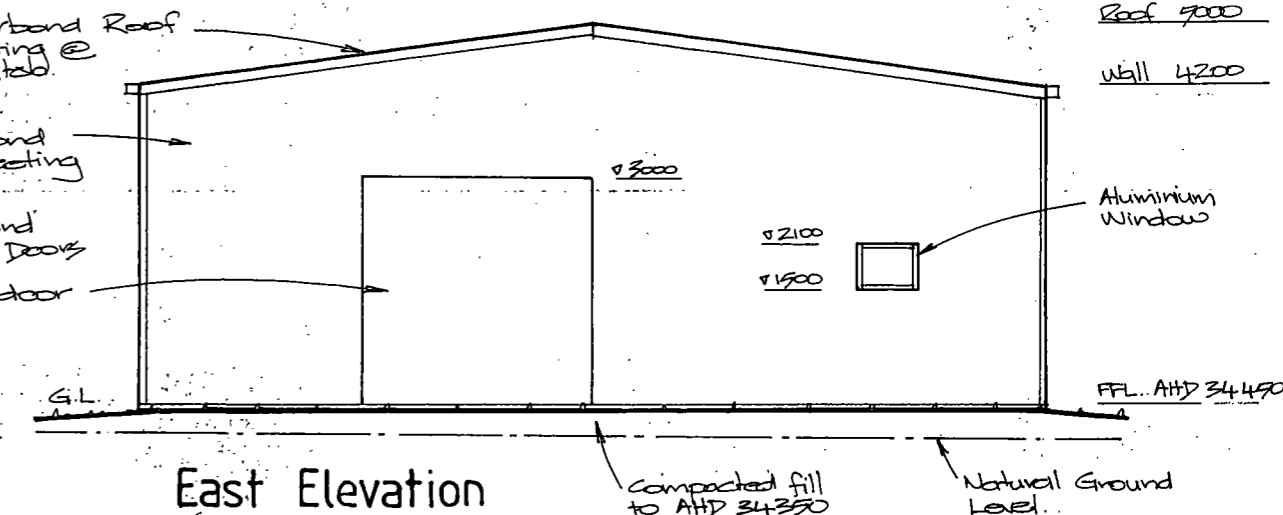
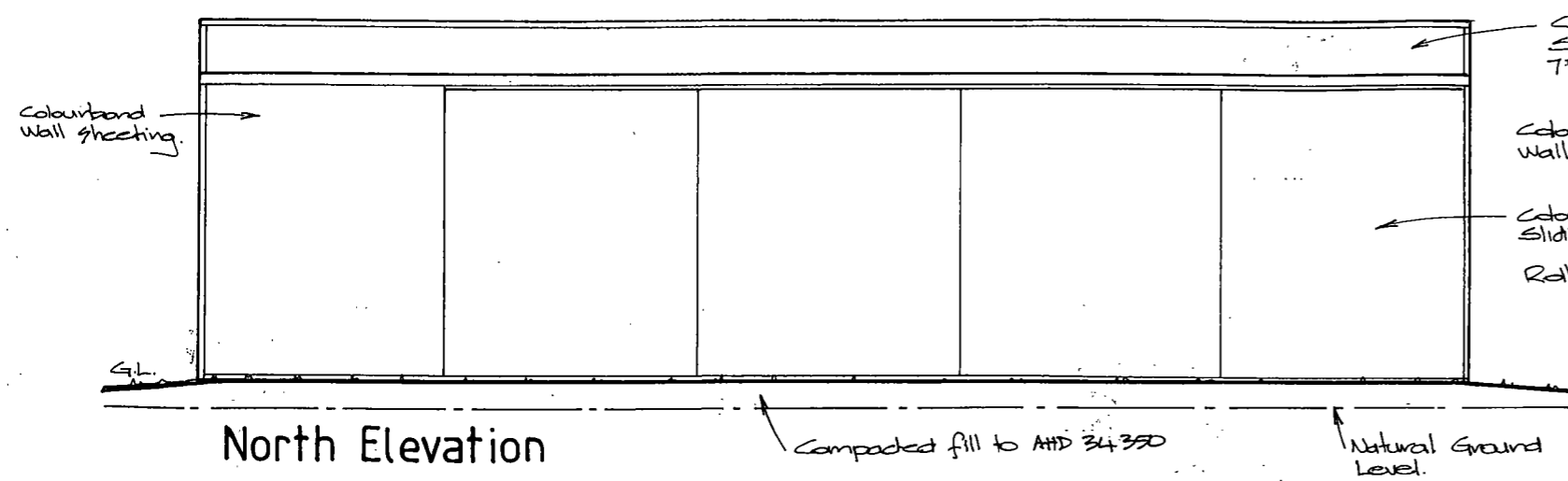
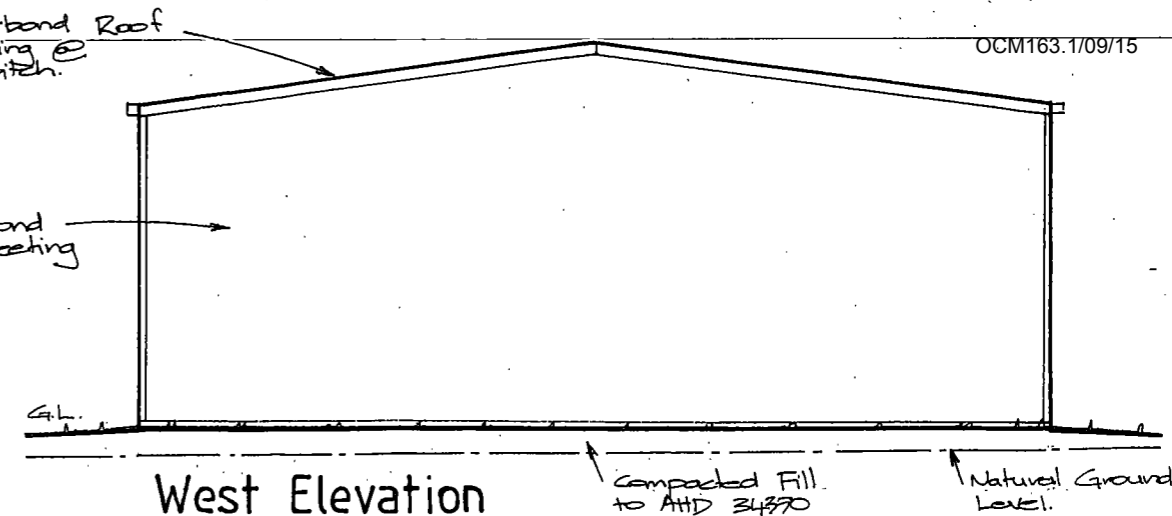
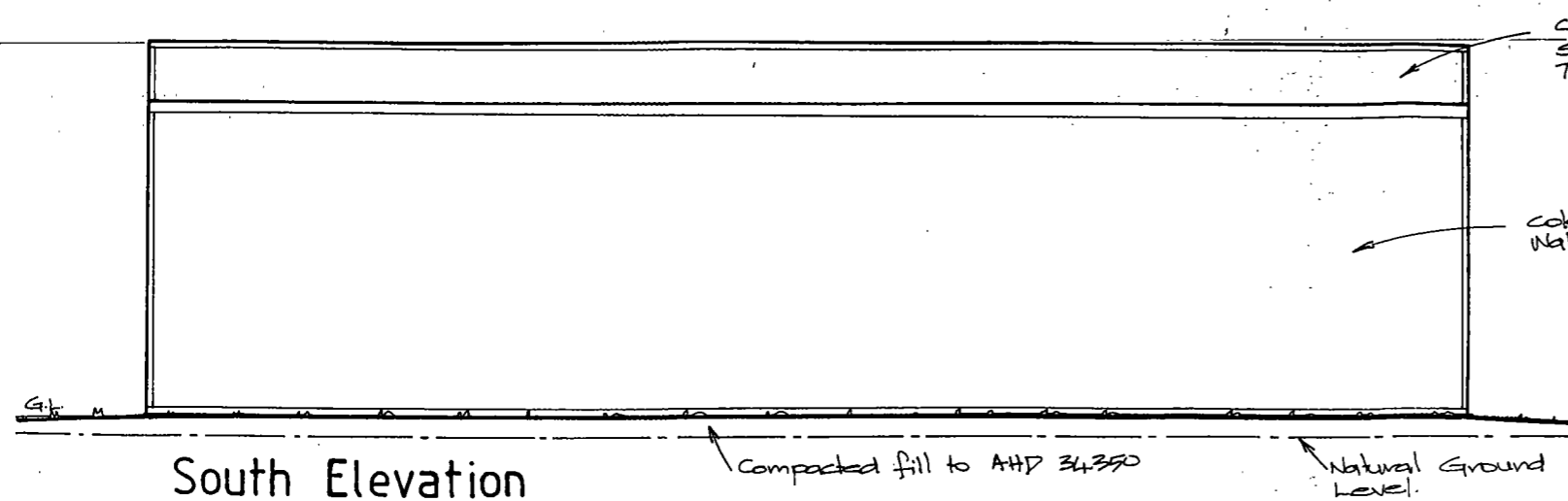
RUSSELL & IZY PINK'S HOUSE
121 RANGEVIEW LOOP, SERPENTINE DOWNS, 6125
PROPOSED NEW HOUSE

WEST & SOUTH ELEVATIONS

Scale 1:100

Date: JUN 2015

DWG. No. **085 SD 04**



COREY JONES ARCHITECT

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RUSSELL & IZY PINK'S HOUSE
121 RANGEVIEW LOOP, SERPENTINE DOWNS, 6125
PROPOSED NEW SHED

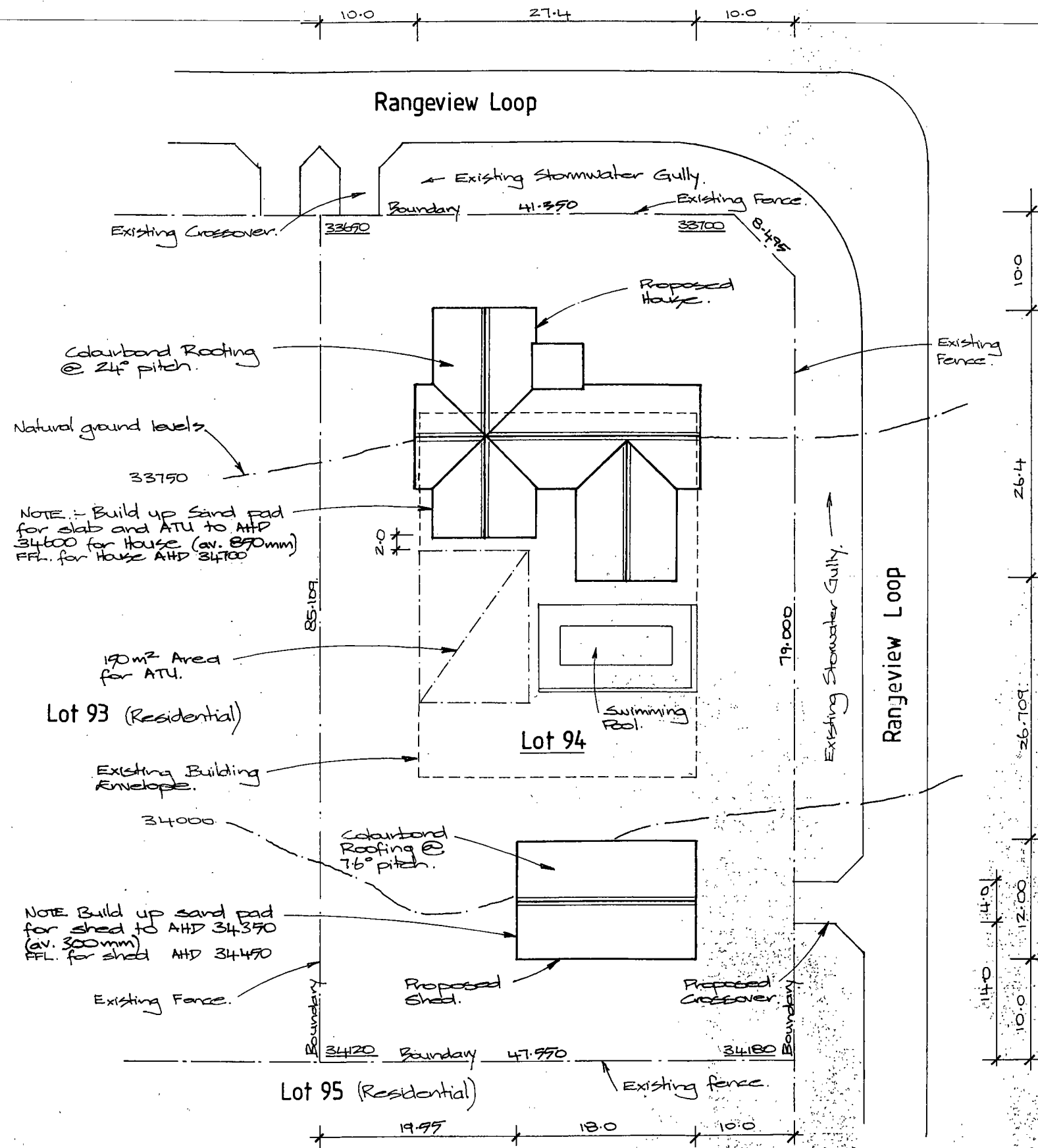
FLOOR PLAN & ELEVATIONS

Scale 1:100

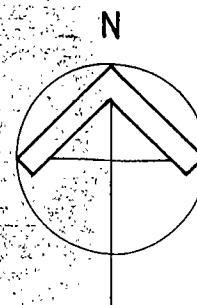
Date: JUN 2015

DWG. No. **085 SD 05**

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Site / Roof Plan



COREY JONES ARCHITECT

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Email: coreyjones@inet.net.au

RUSSELL & IZY PINK'S HOUSE

121 RANGEVIEW LOOP, SERPENTINE DOWNS, 6125
PROPOSED NEW HOUSE & SHED

SITE / ROOF PLAN

Scale 1:500

Date: JUN 2015

DWG. No. 085 SD 01

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