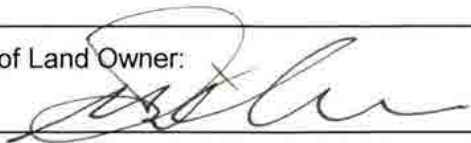


**FORM NO. 1
TOWN PLANNING SCHEME NO. 2
APPLICATION FOR APPROVAL TO COMMENCE DEVELOPMENT**

Name of Applicant: ALGERI PLANNING & APPEALS	
Address of Applicant: PO BOX 373, VICTORIA PARK P/Code: 6979	
Day time Phone No.: 9470 9447	Mobile No:
Email Address: JOE@ALGERI.COM.AU	Fax No: 9470 9227
Name & Address of Owner (if not Applicant): GLENN TAYLOR 62 CRADDON ROAD, OAKFORD P/Code: 6121	
Description of Land (Lot No. & Street Name of property where development is to occur): LOT 496 (No. 62) CRADDON ROAD, OAKFORD	
Type of Development: PROPOSED OUTBUILDING (SHED)	
Existing land use (attach plan showing location of existing buildings):	
Value of Development (excluding GST component of contract): LESS THAN \$ 50,000	
Signature of Land Owner: 	
Date: 21.5.2014	
This application form must be accompanied by the appropriate fee. This is not a building application for which a separate application is necessary.	

Office Use Only

Fee	Receipt No.	Date
\$147.00	104977	28/5/14

SHIRE OF

29 MAY 2014

SERPENTINE JARRAHDALÉ

PS02 Advice on Planning Applications

Development Application Checklist

	Information / Documentation Required	Please tick
1.	Completed Application Form (signed by owner) <i>If subject to a change of ownership the purchaser should complete the Form 1 as the owner and attach a copy of the "Offer and Acceptance"</i>	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
2.	Application Fee	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
3.	Site Plan showing all requirements listed – 1 copy NB If also submitting a building application an additional 2 copies will be required	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
4.	Floor Plan - 1 copy NB If also submitting a building application an additional 2 copies will be required	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
5.	Elevation Drawings - 1 copy NB If also submitting a building application an additional 2 copies will be required	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
6.	Schedule detailing materials and colours to be used (refer form attached).	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
7.	For variations - details of proposed variations to Town Planning Scheme, policy requirements or Residential Planning Code requirements	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
8.	Other Additional Information: <i>Commercial Development details</i> <i>Commercial Vehicle Details</i> <i>Home Occupation / Home Business details</i>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/>

The provision of all of the required information will assist the Shire in minimising the time taken to determine applications. The Shire also reserves the right to request additional information to assist in determining the proposal should the need arise.

**Please check your documents carefully
as incomplete applications may be returned**

published by the shire of serpentine jarrahdale, 6 paterson st, mundijong
ph: 08 9526 1111; fax: 08 9525 5441; www.sjshire.wa.gov.au; info@sjshire.wa.gov.au
Sustainable, Connected, Thriving!

PS02 Advice on Planning Applications

Schedule of Materials and Finishes

(to be submitted with all applications for new buildings or additions to existing buildings)

PROPERTY ADDRESS: LOT 496 (NO. 62) CRADDOON ROAD, OAKFORD

Building		Materials	Colour
House	Walls		
	Roof		
	Gutters		
	Windows		
	Other (detail)		
Shed	Walls	COLOURBOND	GREEN GUMTREE
	Roof	COLOURBOND	GREEN GUMTREE
	Gutters		
	Windows		
	Other (detail)	REFER TO ATTACHED PLANS FOR FURTHER DETAIL	
Driveway			
Paths/Paving			
Water Tanks			
Other (detail)			

Notes:

1. Colour – state product name and shade (ie Colourbond “Eucalyptus”).
2. In “Other” for sheds and houses detail any additional trims such as verandah posts, fascias etc.)

28 May 2014

Chief Executive Officer
Shire of Serpentine Jarrahdale
6 Paterson Street
MUNDIJONG WA 6123

Attention: Planning Department

Dear Sir/Madam,

**APPLICATION FOR PLANNING APPROVAL – PROPOSED OUTBUILDING (SHED) – LOT 496 (NO. 62)
CRADDON ROAD, OAKFORD**

Please find below for your consideration a discussion of the relevant background and justification for the planning application for a proposed outbuilding (shed) ('the proposed development' or 'proposal') at Lot 496 (No. 62) Craddon Road, Oakford ('the subject land' or 'land'). This submission is prepared by Algeri Planning and Appeals on behalf of Glenn Taylor ('the Applicant').

Please also find attached:

- Completed Application for Approval to Commence Development (Form 1);
- Completed Development Application Checklist;
- Cheque for the application fee of \$147;
- One (1) complete copy of plans including site plan and elevation drawings; and
- Completed Schedule of Materials and Finishes.

Subject land and locality

The subject land exists as a triangular-shaped rural lot with a narrow frontage to Craddon Road, Oakford and measures approximately 3.2810ha. The land exists with an existing residential dwelling and an existing shed which measures approximately 162m². All of the built-form development is situated at the front of the lot, with the rear of the lot remaining undeveloped.

In assessing the immediate locality, I undertook a view of Craddon Road and Foxton Drive. From my observations, large outbuildings are not unusual and there are several examples on Craddon Road and Foxton Drive which are clearly visible from the street as large sheds (refer to photos 2 – 8 of **Attachment 1**).

Background

In March 2014, the Applicant lodged an application for development approval with the Shire of Serpentine Jarrahdale ('the Shire') for the erection of a shed on the subject land and described the proposed use as a 'home business'. Upon professional advice from ourselves, we advised the Applicant that the shed could not be approved under the 'home business' classification because of the Shire's provision that it cannot occupy an area greater than 50m².

Based on our advice, the Applicant has been required to consider an entirely different philosophy for his needs in this current application. The Applicant is no longer seeking approval for storage for his business as he will deal with those requirements off-site on the basis that his extensive motorcycle collection of approximately 40 bikes, which are currently located off-site, are to be stored onsite as a trade-off. In essence, the proposed shed will be for personal storage.

Proposed development

The proposed shed subject to this application is however, identical to that previously proposed, measuring 20m x 10m, equating to a total floor area of 200m² and consisting of a wall height of 5m and a ridge height of 6m. The shed is proposed to be located to the north-west of the land which is already well vegetated (refer to site plan with aerial overlay), particularly from view by the neighbouring property at Lot 513. Furthermore, given the narrow frontage of the land caused by its triangular-shaped configuration, the main dwelling itself is barely visible from the street and the proposed shed, which is north of both the existing dwelling and shed, will not have a negative impact on the streetscape (refer to photo 1 of **Attachment 1**).

Planning considerations

The subject land is zoned 'Special Rural' pursuant to the Shire's Town Planning Scheme No. 2 ('TPS2') and is contained within the 'Rural Living B (2ha to 4ha lots)' Policy Area pursuant to the Shire's Rural Strategy.

Under the Shire's historical Local Planning Policy No. 17 – Residential and Incidental Development ('LPP17') which was adopted in 2003 and last updated in 2007, Table 3.2 outlined that areas zoned 'Special Rural' are subject to a maximum combined floor area of 200m² for outbuildings, a maximum wall height of 4.0m and a maximum roof height of 6.0m. The combined floor area of the existing and proposed sheds equates to approximately 362m² and whilst the proposed wall height does not comply with the maximum outlined in Table 3.2, the Applicant would be willing to accept a condition reducing the wall height to be compliant, if the Shire is of the view that such a condition is necessary. The only reason this is offered as a concession is that, in my view after having visited the site, the only prospect of the shed being visible to any other property is by virtue of its height. Even so, with the existing, mature vegetation that exists around the perimeter of the subject land, the roof line will only be marginally visible.

From a policy perspective, it appears as though LPP17 is being replaced by, or at least in part, by draft Local Planning Policy No. 36 – Non-Urban Outbuildings ('draft LPP36') which is available on the Shire's website under the section 'Prepared for Public Comment'. In accordance with Table 1 of draft LPP36, the acceptable development provision for the outbuilding floor area within the 'Special Rural' zone is less than 200m² and the performance based criteria is less than 300m². Table 1 also states that the maximum wall height is 4.5m and the maximum roof ridge is 5.0m. As stated previously, the proposed development does not comply with these standards however if the Shire deems it necessary, the Applicant would be willing to accept a condition to reduce the height of the shed.

We note that draft LPP36 is a draft policy and as with any policy it is arguable as to what weight, if any, should be given to it. All local policies, particularly when in draft form, do not have the same power and effect as the more formalised statutory provision(s) contained within local planning schemes. Notwithstanding this, LPP17 and draft LPP36 are still useful instruments in the assessment of development applications where the broader objectives are consistent with established principles of orderly and proper planning.

Notwithstanding that draft LPP36, which is the more contemporary policy, has a 300m² maximum floor area for outbuildings, Council should not be overly preoccupied with a technical measure but rather the outcome for the reasons outlined in this submission. In this regard, we submit that due to the location of the proposed development and the vegetation which surrounds it, the shed will not impact the visual amenity of any adjoining resident. Furthermore, we reiterate that whilst there are several examples of large sheds visible from the street (refer to photos 2 – 8 of **Attachment 1**), due to the narrow frontage of the lot and the proposed location of the shed behind both the existing dwelling and shed which are barely visible from the street themselves, this proposed shed will also not have any impact of the streetscape which could potentially preoccupy the Council with some form of precedent concerns.

Conclusion

The Applicant is proposing to erect a 200m² outbuilding (shed) to the rear of the subject land in addition to the 136m² which currently exists. Notwithstanding that the cumulative floor area of the existing and proposed sheds does not comply with the maximum floor area under LPP17 or LPP36, we are of the view that as it will not be visible from the street or the adjoining neighbour, it is capable of approval by Council and such an approval would not be contrary to orderly and proper planning.

I trust this information is to your satisfaction. Should you have any questions regarding the above mentioned, please do not hesitate to contact me on 9470 9447 or joe@algeri.com.au. We otherwise look forward to your favourable determination.

Yours faithfully,

A handwritten signature in black ink, appearing to read "Joe Algeri". The signature is fluid and cursive, with a long horizontal stroke at the end.

Joe Algeri
Director

Attachment 1



Photo 1: A view of the subject land from Craddon Road

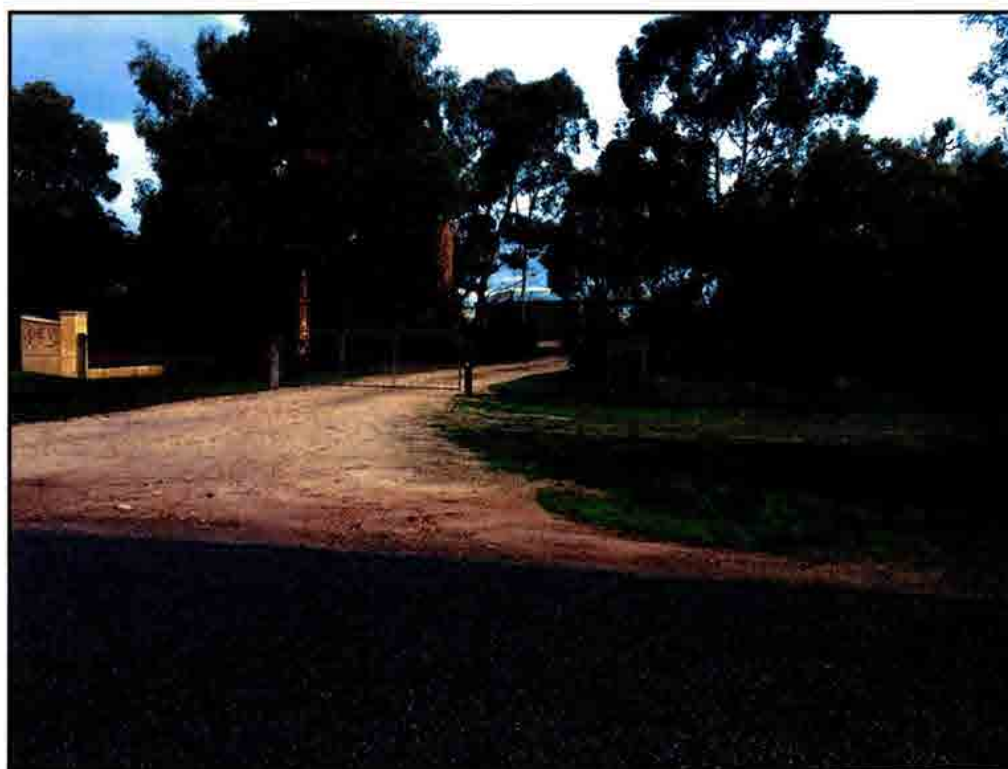


Photo 2: An example of a shed within the immediate locality which is visible from the street



Photo 3: An example of a shed within the immediate locality which is visible from the street



Photo 4: An example of a shed within the immediate locality which is visible from the street



Photo 5: An example of a shed within the immediate locality which is visible from the street

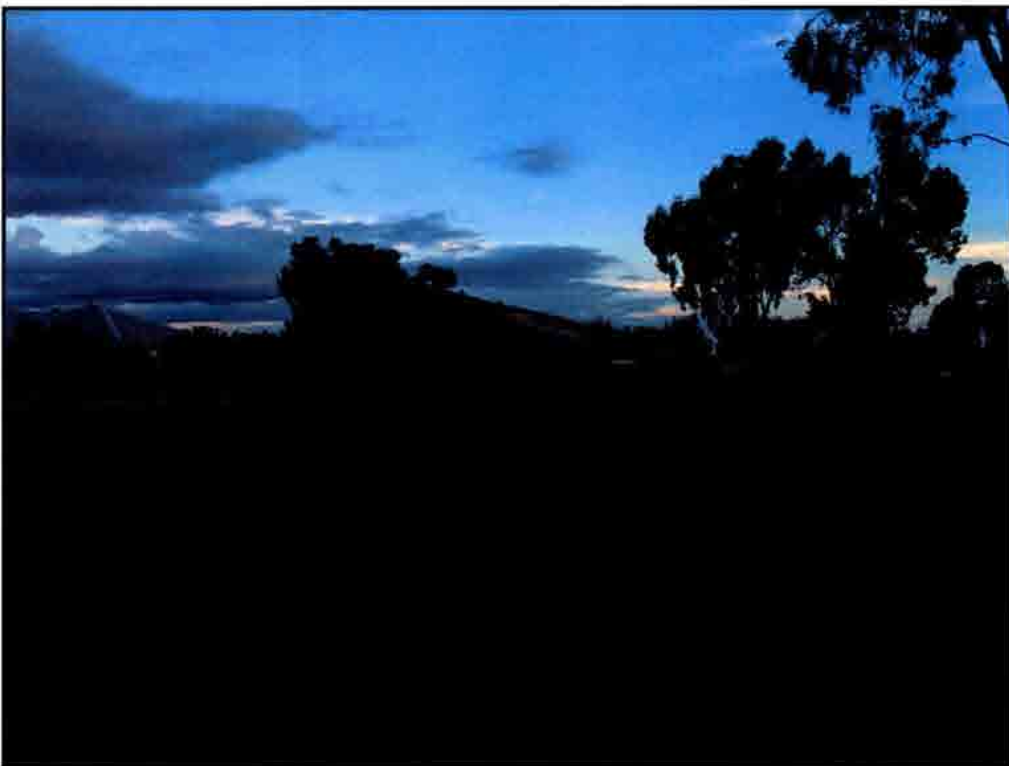


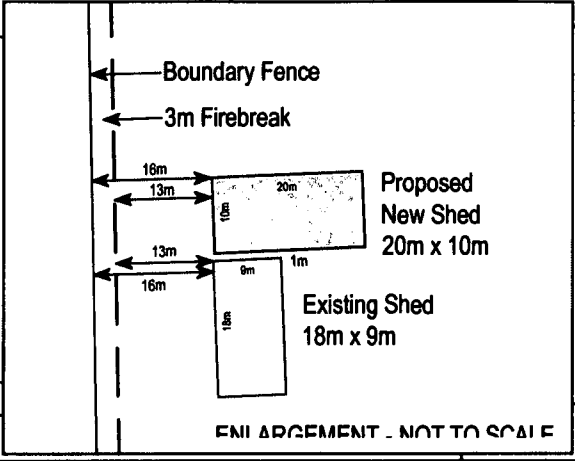
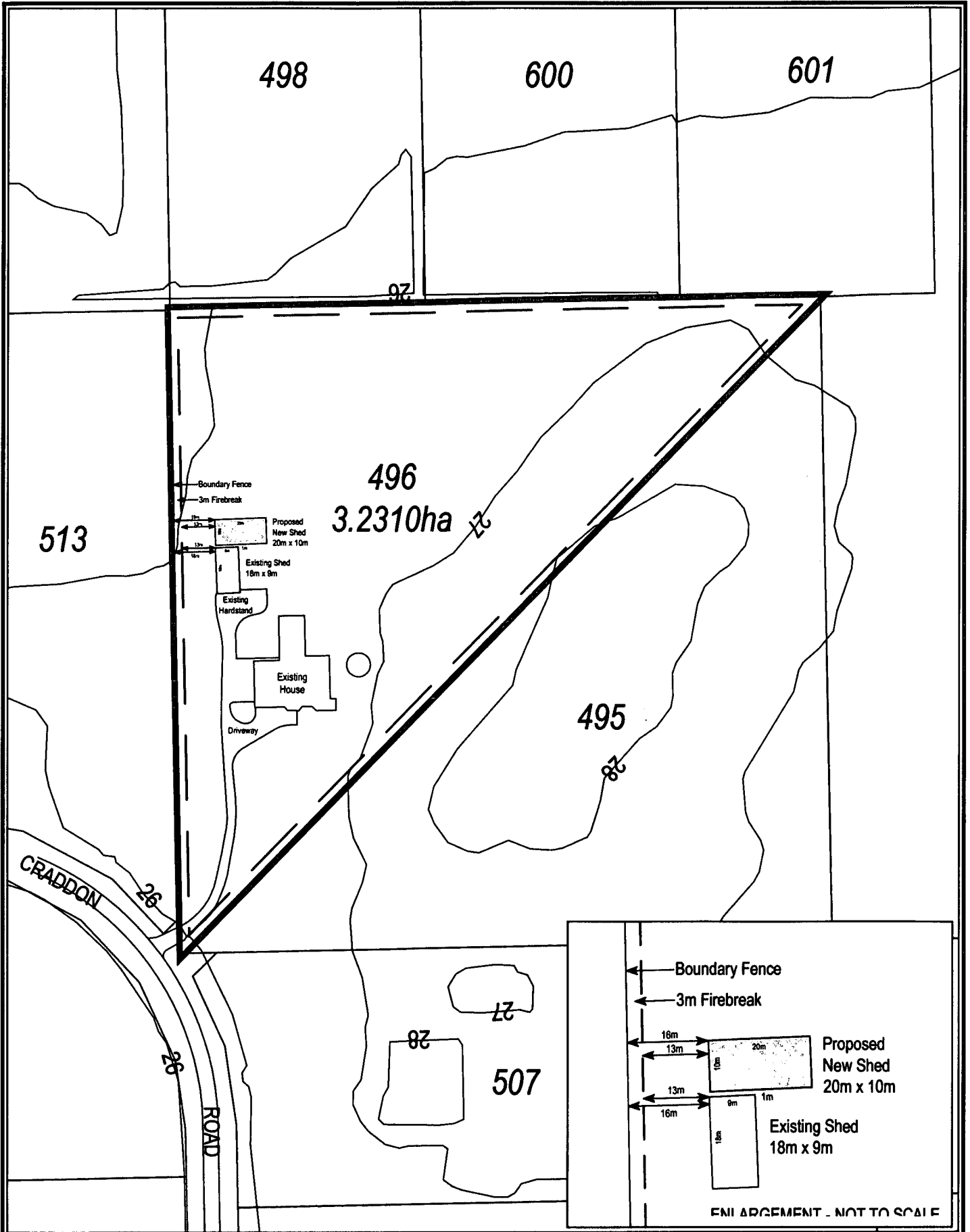
Photo 6: An example of a shed within the immediate locality which is visible from the street



Photo 7: An example of a shed within the immediate locality which is visible from the street



Photo 8: An example of a shed within the immediate locality which is visible from the street




SCALE 1:2000
ORIGINAL PLAN SIZE: A4

Base Mapping Prepared By Landgate DATE: 27.05.2014

ALGERI
PLANNING & APPEALS


NORTH

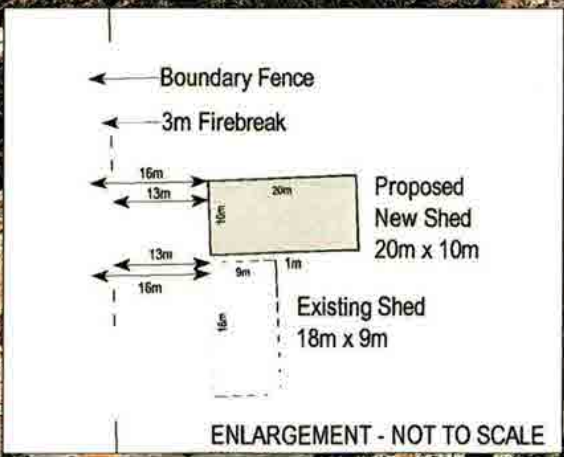
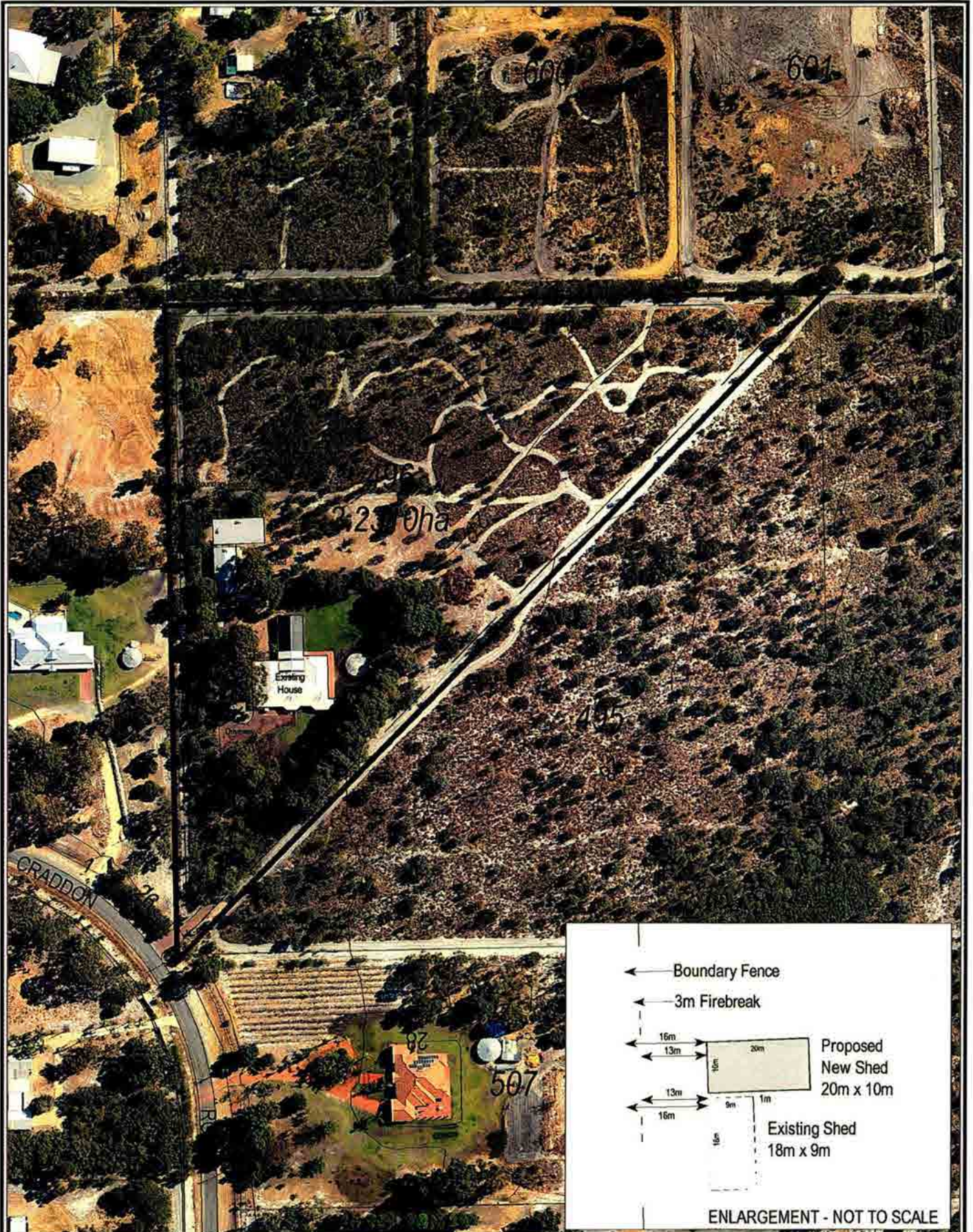
Algeri Planning & Appeals
249B Albany Highway, Victoria Park
Postal: PO Box 373 Victoria Park WA 6970
t. 9470 9447 f. 9470 9227 m. 0400 059 037

LEGEND:
Subject Land..... 

NOTE: Areas and dimensions are subject to survey.

DEVELOPMENT PLAN

LOT 496 (No. 62) CRADDON ROAD
OAKFORD
Shire of Serpentine - Jarrahdale



SCALE 1:2000
ORIGINAL PLAN SIZE: A4

Base Mapping Prepared By Landgate DATE: 27.05.2014

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Algeri Planning & Appeals
249B Albany Highway, Victoria Park
Postal: PO Box 373 Victoria Park WA 6079
t. 9470 9647 f. 9470 9277 m. 0800 089 037
w. www.algeri.com.au

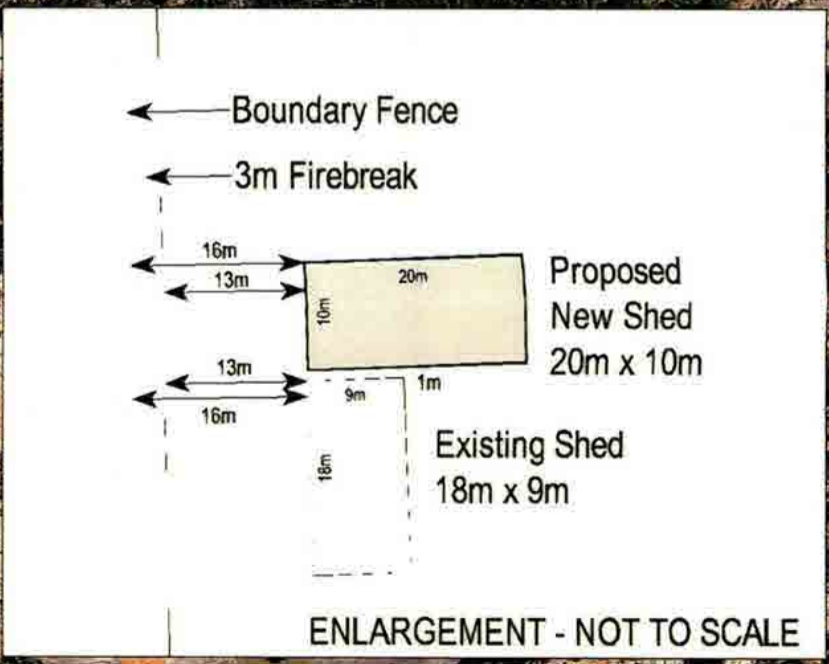
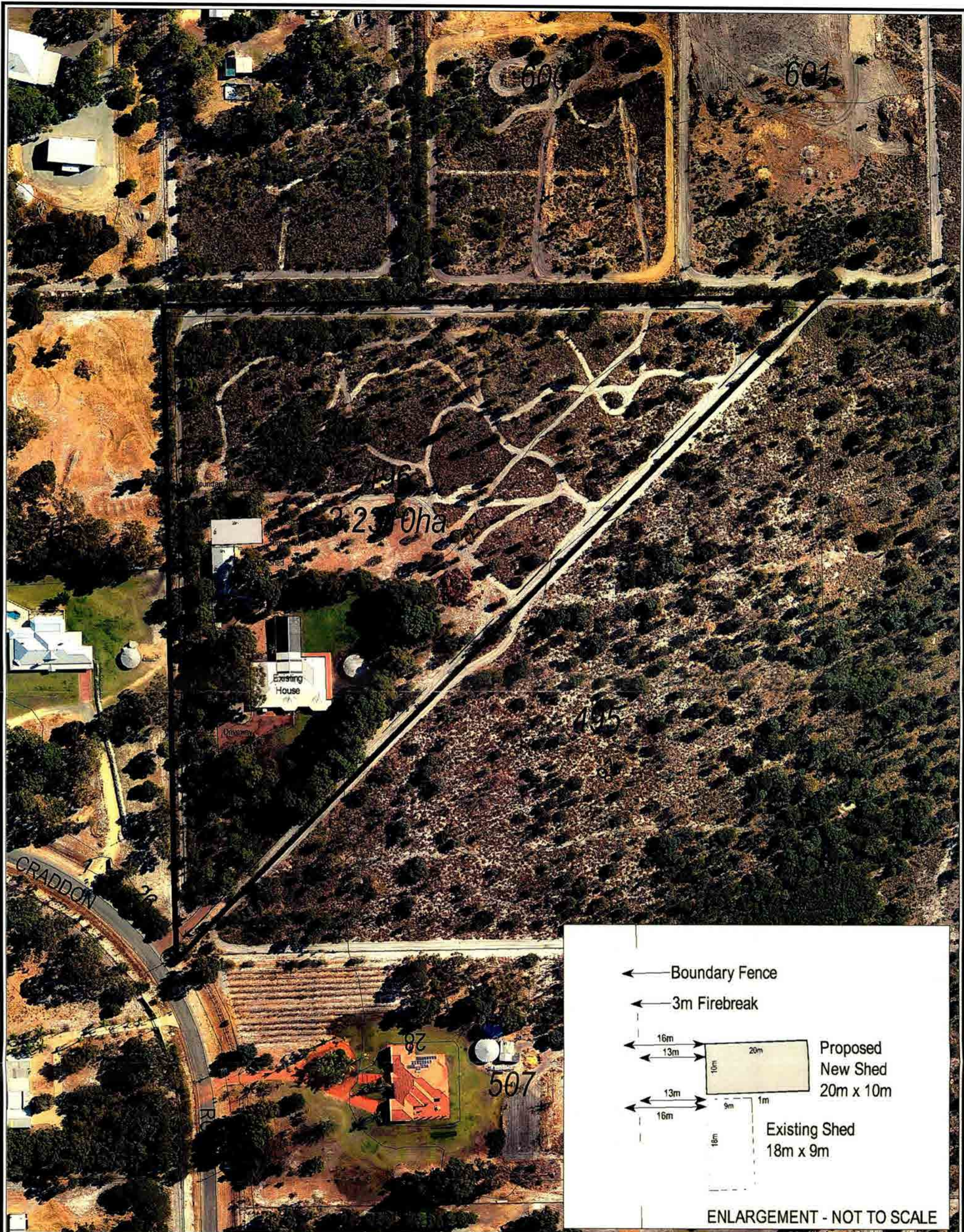
LEGEND:

Subject Land

NOTE: Areas and dimensions are subject to survey.

DEVELOPMENT PLAN

LOT 496 (No. 62) CRADDON ROAD
OAKFORD
Shire of Serpentine - Jarrahdale



SCALE 1:2000
ORIGINAL PLAN SIZE: A4

Base Mapping Prepared By Landgate DATE: 27.05.2014

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249B Albany Highway, Victoria Park
Postal: PO Box 373 Victoria Park WA 8979
t. 9470 9447 f. 9470 9227 m. 0400 069 037
w. www.algeri.com.au

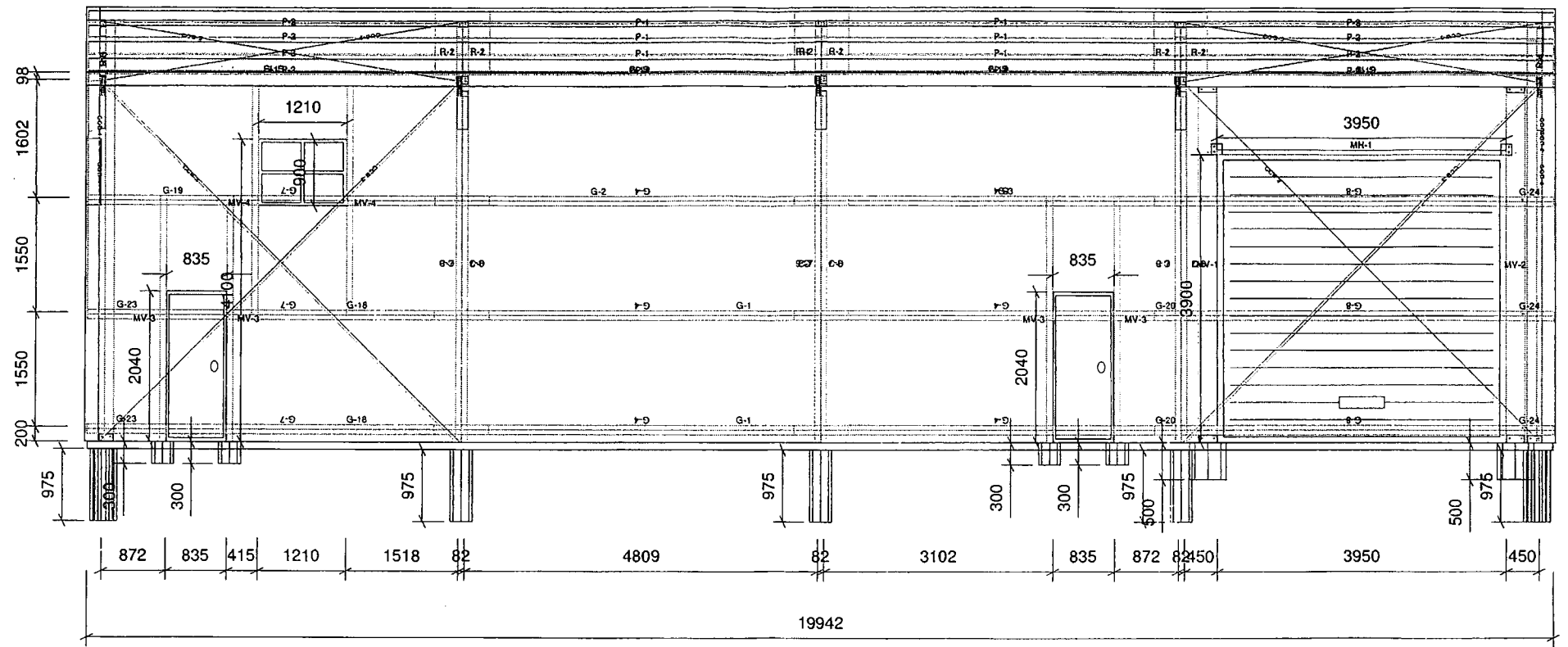
LEGEND:
Subject Land

NOTE: Areas and dimensions are subject to survey.

DEVELOPMENT PLAN

LOT 496 (No. 62) CRADDON ROAD
OAKFORD
Shire of Serpentine - Jarrahdale

A3 NOT TO SCALE



Shed Assembly Front View



Signed

Michael Young

Michael Young BE MIE (Aust) NPER CPeng (Aust)

Dwg No 1 of 22

Shed Assembly Front View

62 Craddon Road
OAKFORD
6121, WA

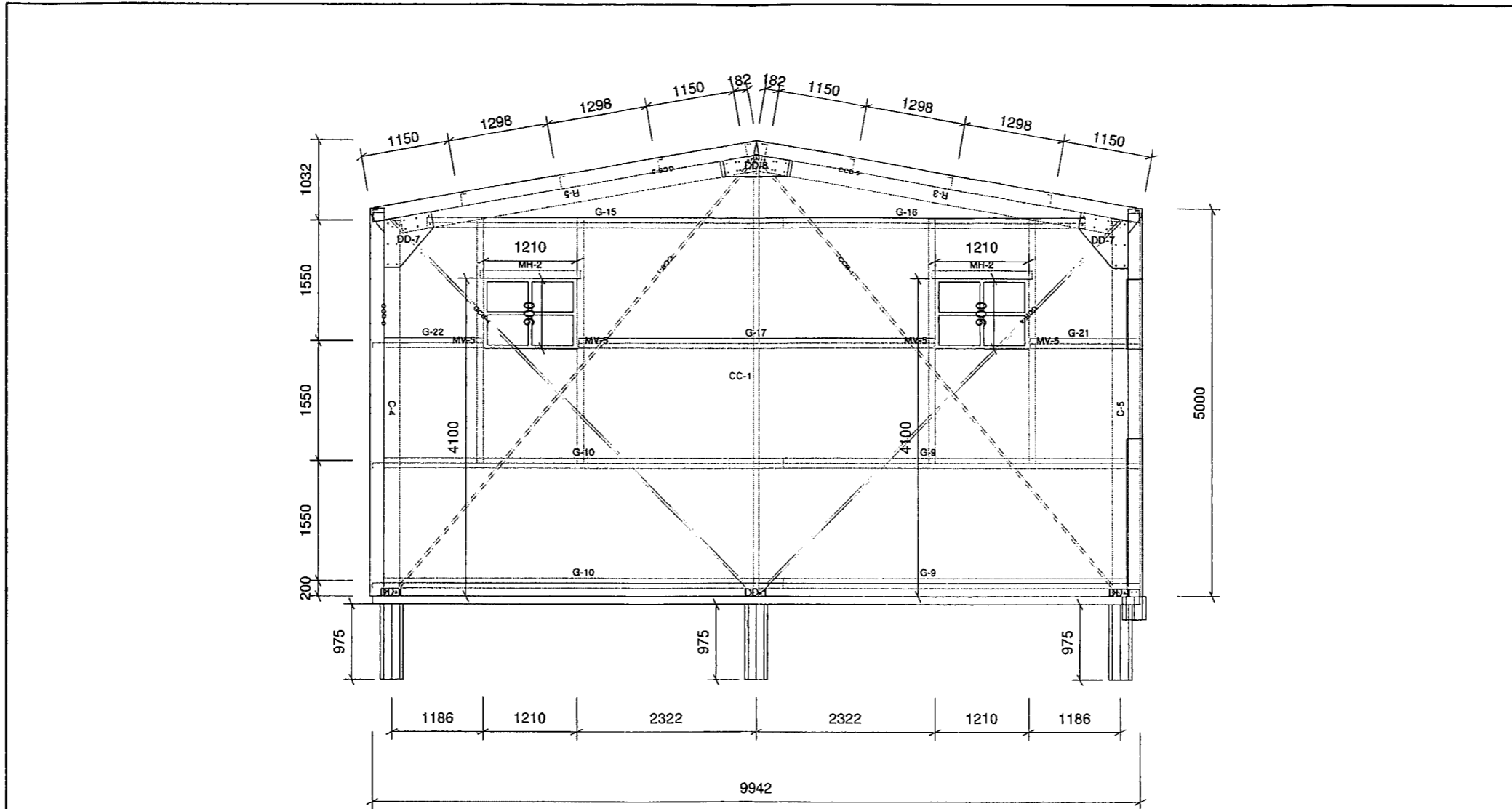
Project No. WBS02_254814

Glenn Taylor

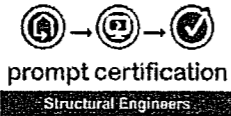
3/12/2013

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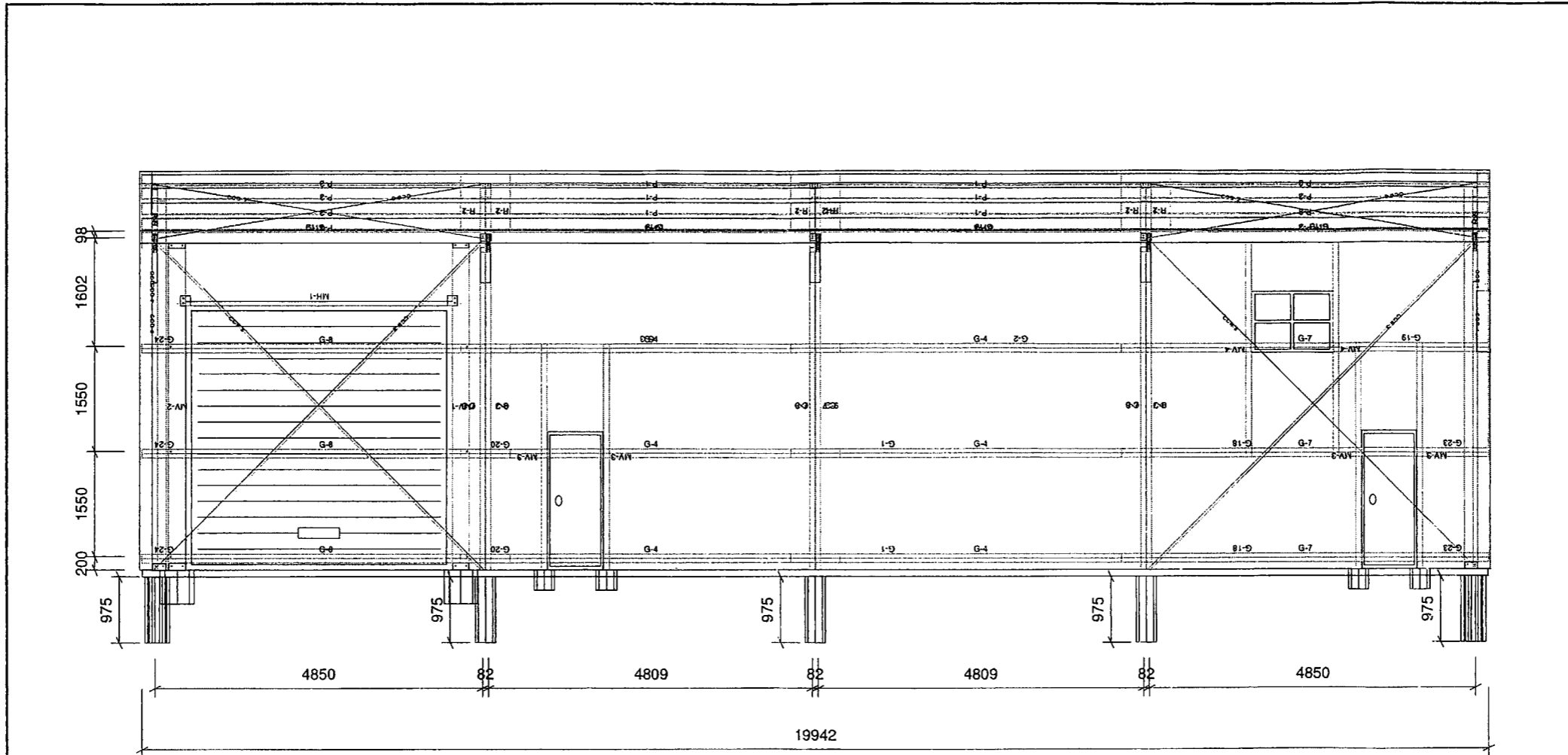
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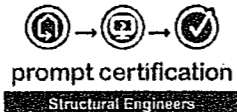
Shed Assembly Left View

	Signed	Dwg No 2 of 22	Project No. WBS02_254814
	<i>Michael Young</i>	Shed Assembly Left View	Glenn Taylor
	Michael Young BE MIE (Aust) NPER CPeng (Aust)	62 Craddon Road OAKFORD 6121, WA	3/12/2013
			Scale 1:71 Erection Drawing

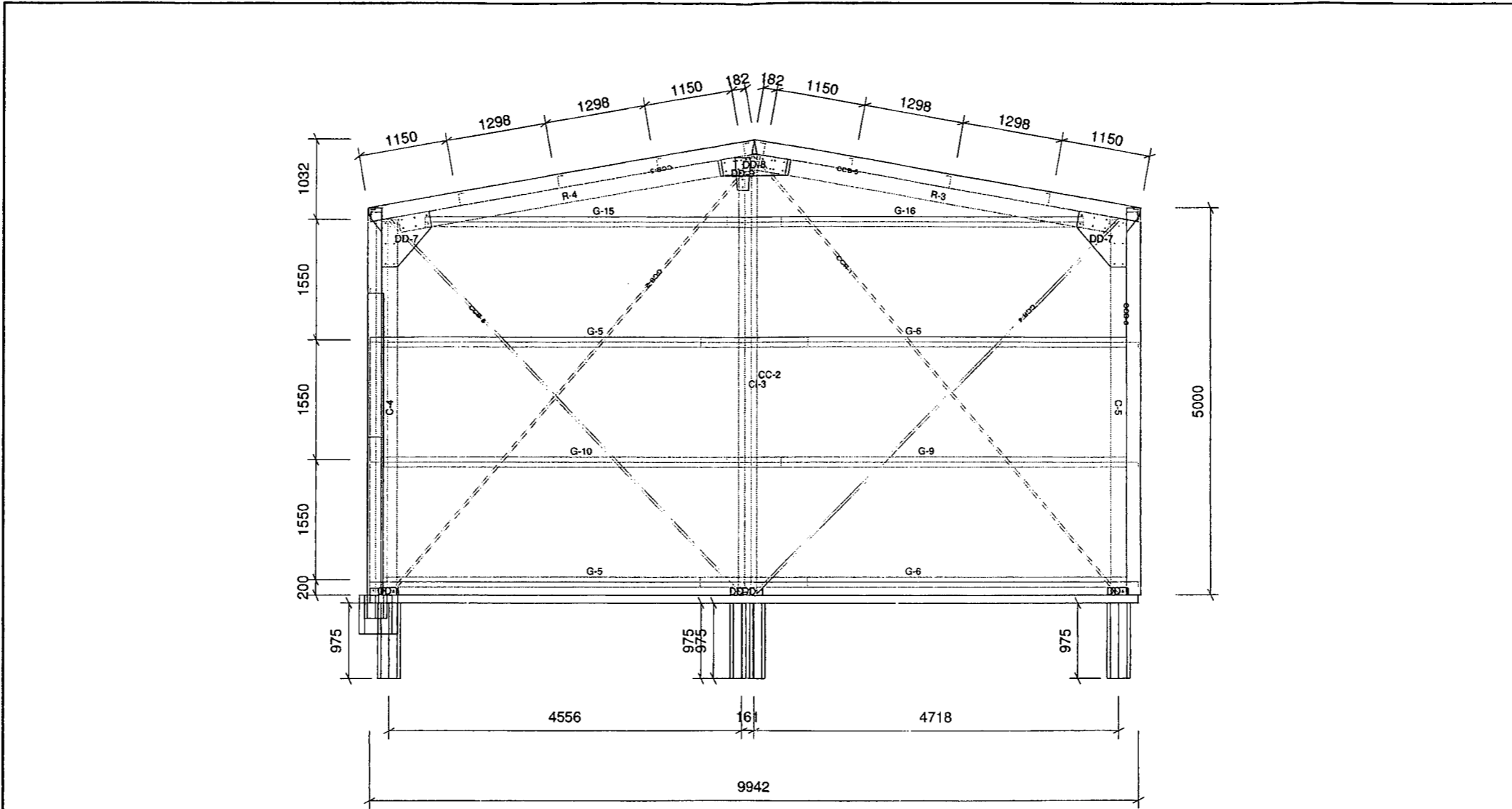
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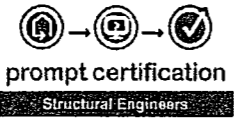
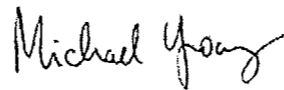
Shed Assembly Back View

	Signed	Dwg No 3 of 22	Project No. WBS02_254814
	<i>Michael Young</i>	Shed Assembly Back View	Glenn Taylor
	Michael Young BE MIE (Aust) NPER CPeng (Aust)	62 Craddon Road OAKFORD 6121, WA	3/12/2013
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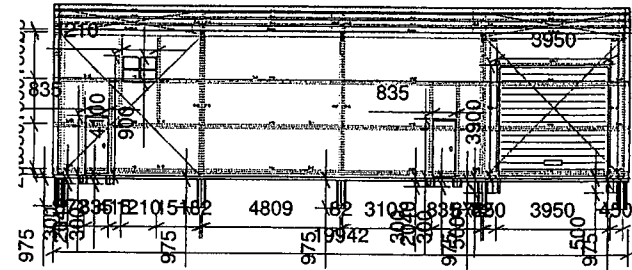
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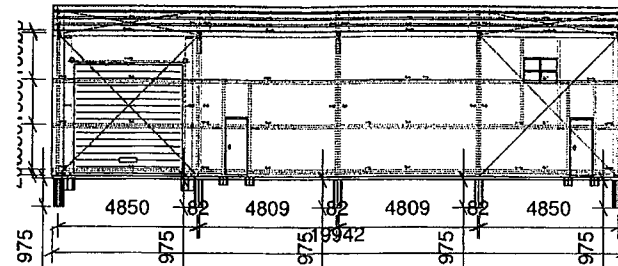
Shed Assembly Right View

	Signed  Michael Young BE MIE (Aust) NPER CPeng (Aust)	Dwg No 4 of 22	Project No. WBS02_254814
		Shed Assembly Right View	Glenn Taylor
		62 Craddon Road OAKFORD 6121, WA	3/12/2013
			Scale 1:71 Erection Drawing

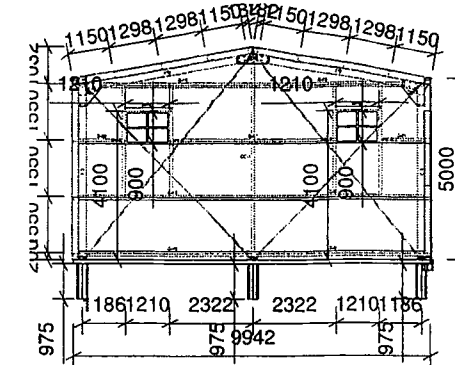
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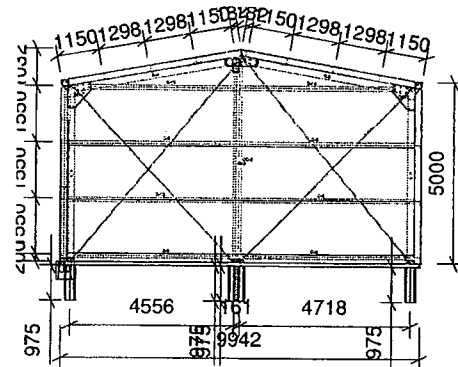
FRONT VIEW



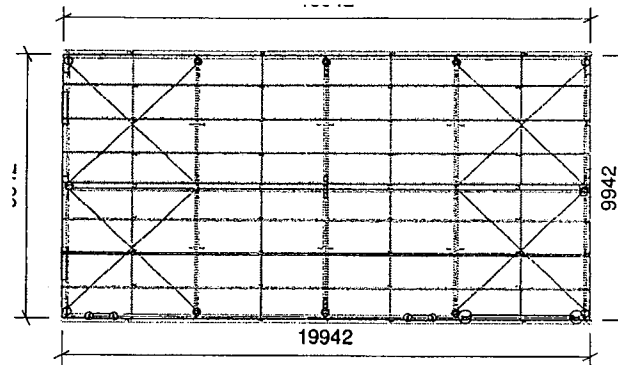
BACK VIEW



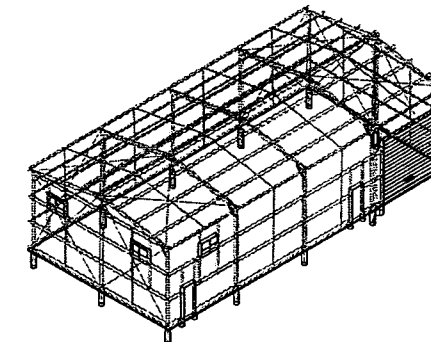
LEFT VIEW



RIGHT VIEW



PLAN VIEW



ISO FRONT LEFT VIEW

Shed Assembly Multiview



Signed

Michael Young

Michael Young BE MIE (Aust) NPER CPeng (Aust)

Dwg No 5 of 22

Shed Assembly Multiview

62 Craddon Road
OAKFORD
6121, WA

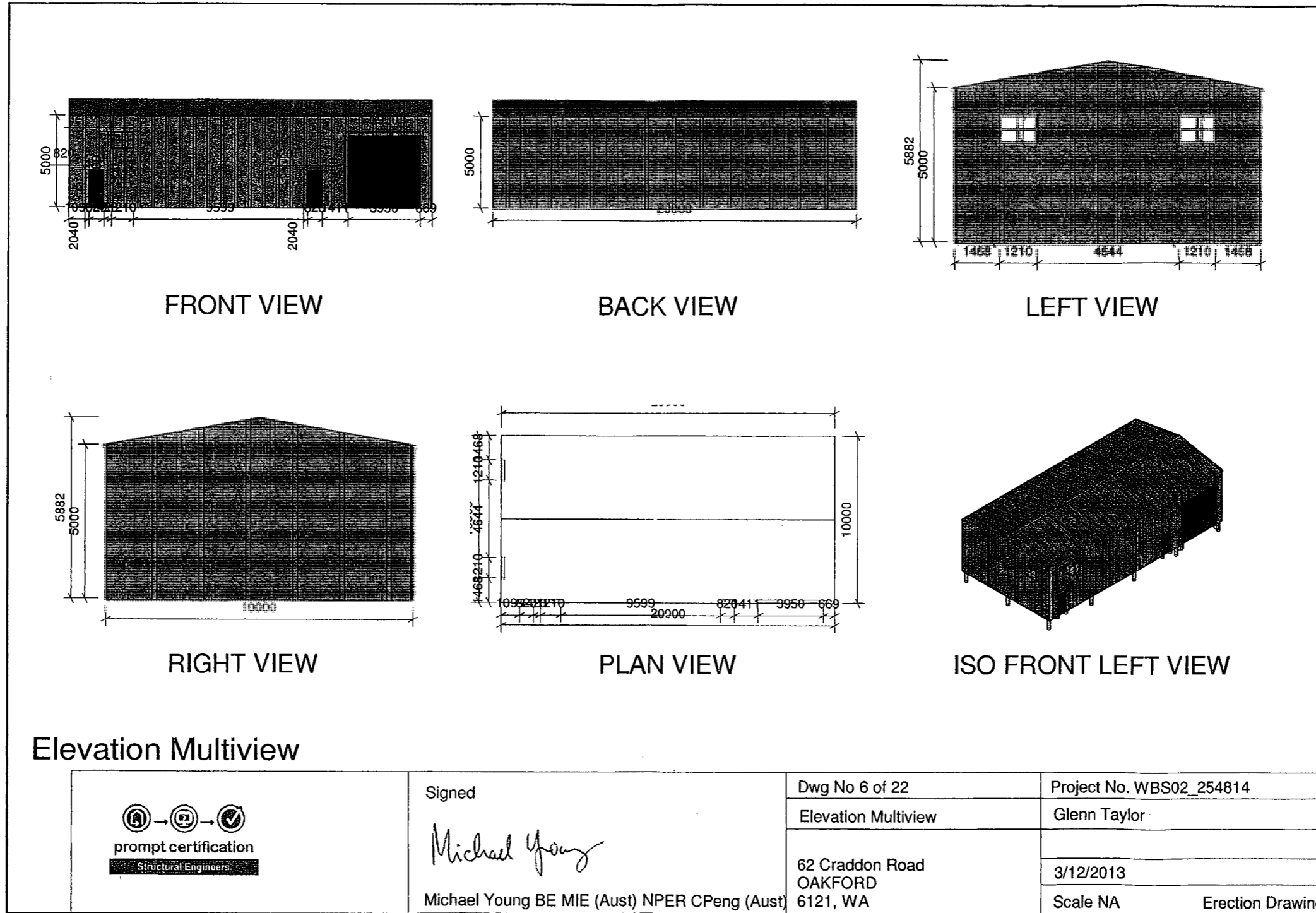
Project No. WBS02_254814

Glenn Taylor

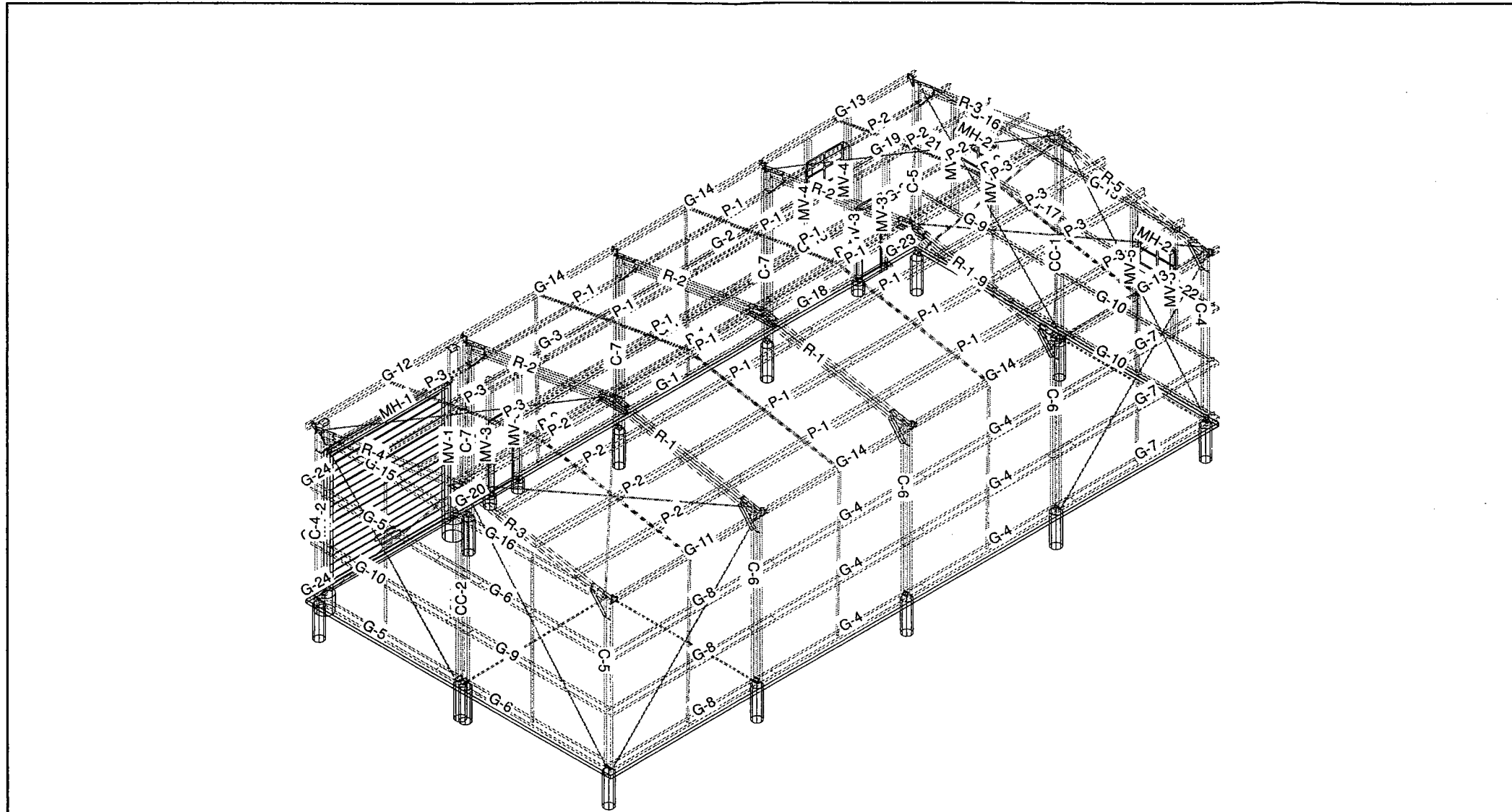
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Scale NA



Erection Drawing



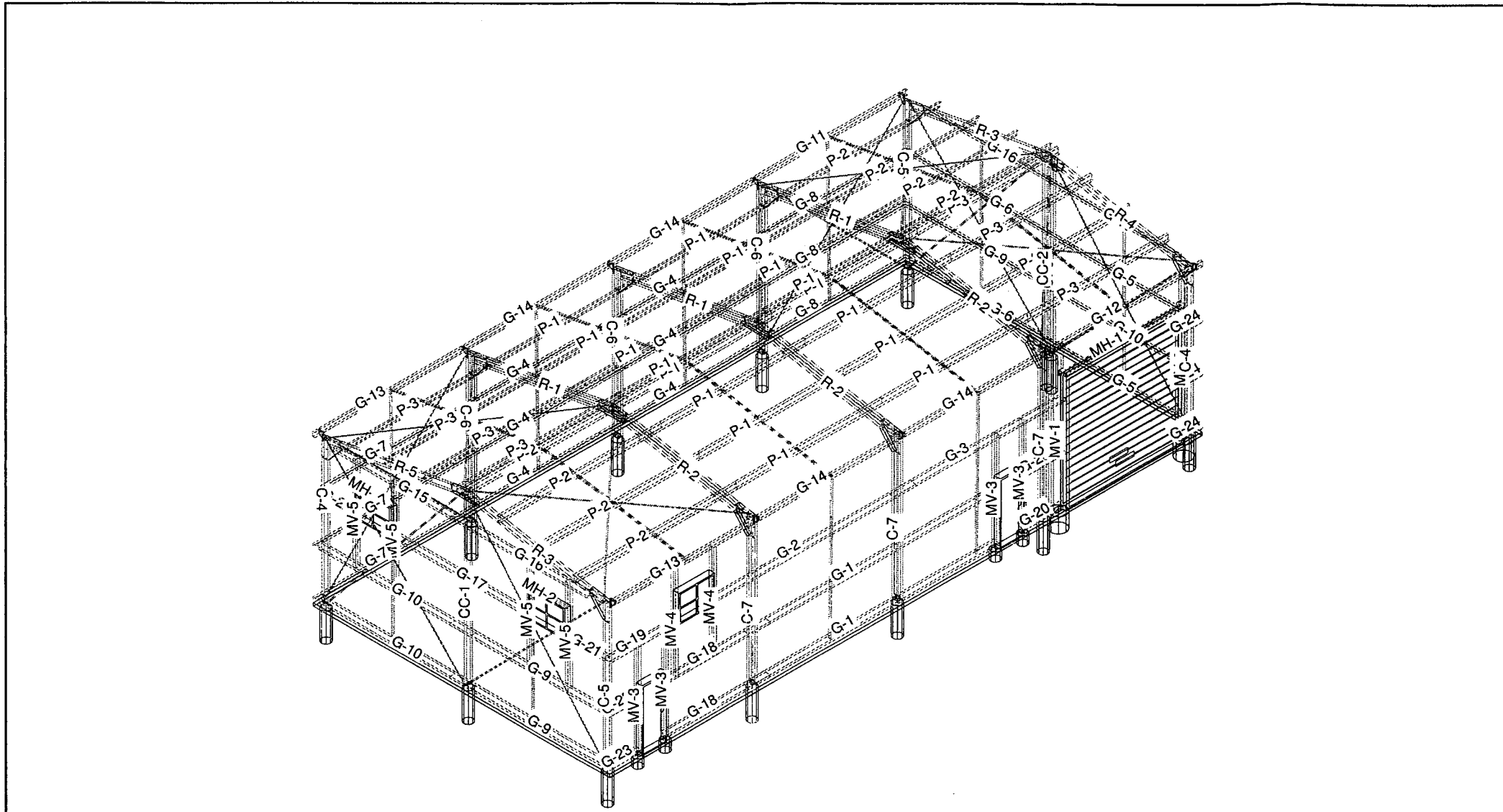
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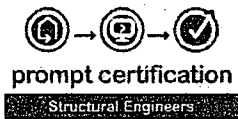
Shed ISO Back Right View (Unclad)

	Signed  Michael Young BE MIE (Aust) NPER CPeng (Aust)	Dwg No 7 of 22	Project No. WBS02_254814
		Shed ISO Back Right View (Unclad) Glenn Taylor	
		62 Craddon Road OAKFORD 6121, WA	3/12/2013
		Scale 1:126	Erection Drawing

STEELbuilder (c) Program Plus Pty Limited - v 1.7.1.4025,1.7.1.4025 - sheds@shedplus.com.au



Shed ISO Front Left View (Unclad)



Signed

Michael Young

Michael Young BE MIE (Aust) NPER CPeng (Aust)

Dwg No 8 of 22

Shed ISO Front Left View (Unclad)

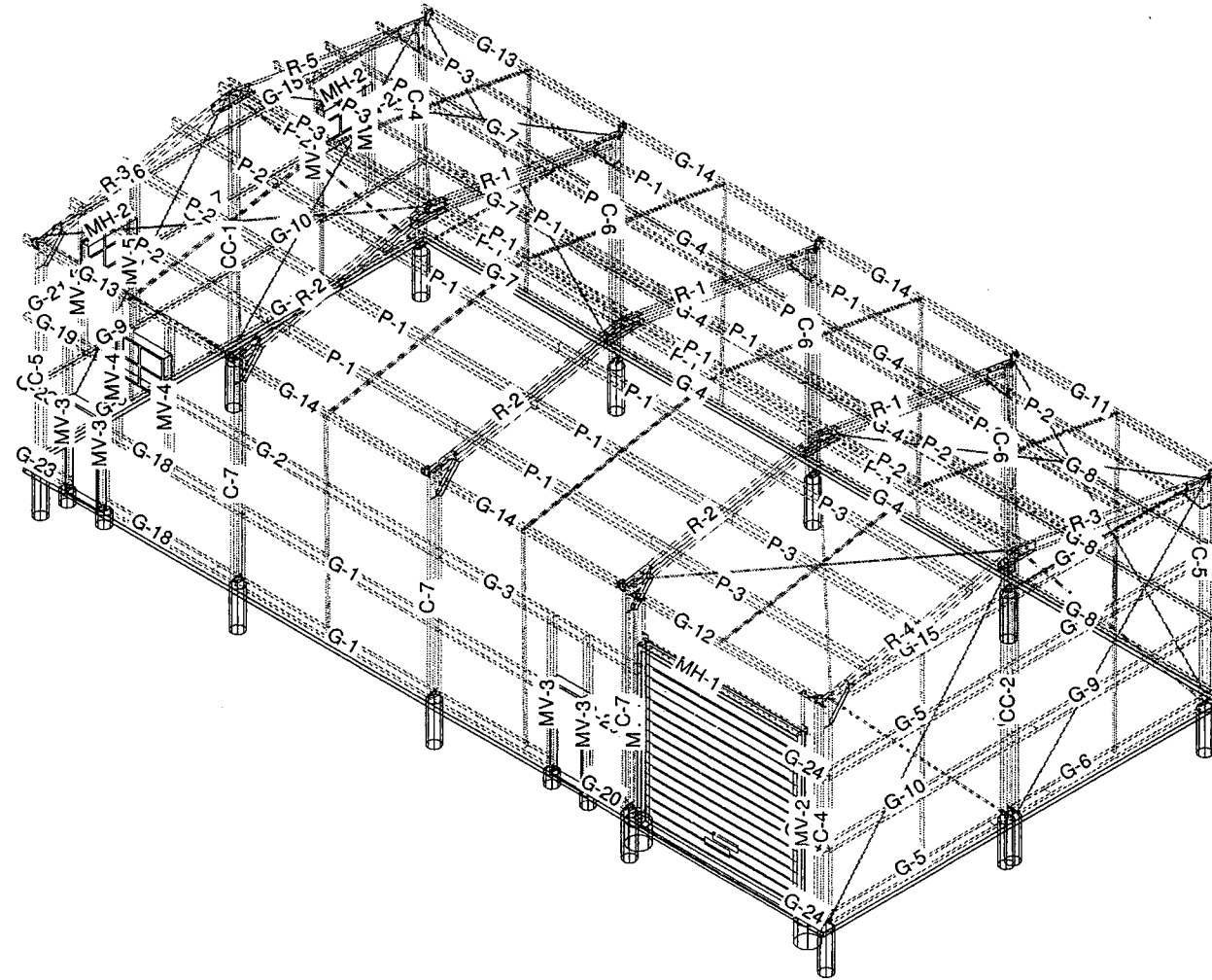
62 Craddon Road
OAKFORD
6121, WA

Project No. WBS02_254814

Glenn Taylor

3/12/2013

Scale 1:129 Erection Drawing



Shed ISO Front Right View (Unclad)



Signed

Michael Young

Michael Young BE MIE (Aust) NPER CPeng (Aust)

Dwg No 9 of 22

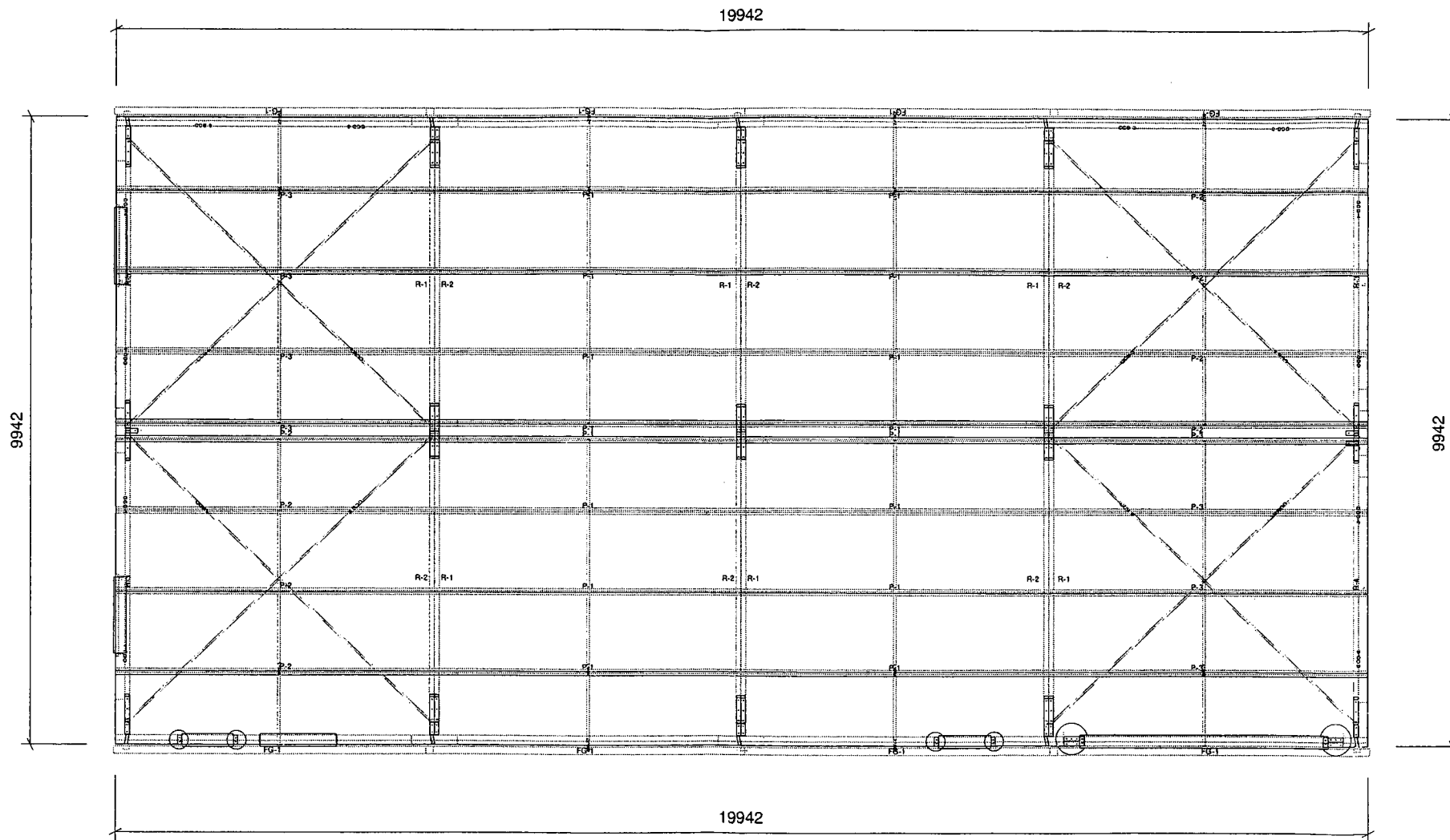
Shed ISO Front Right View (Unclad) Glenn Taylor

62 Craddon Road
OAKFORD
6121, WA


Project No. WBS02_254814

3/12/2013

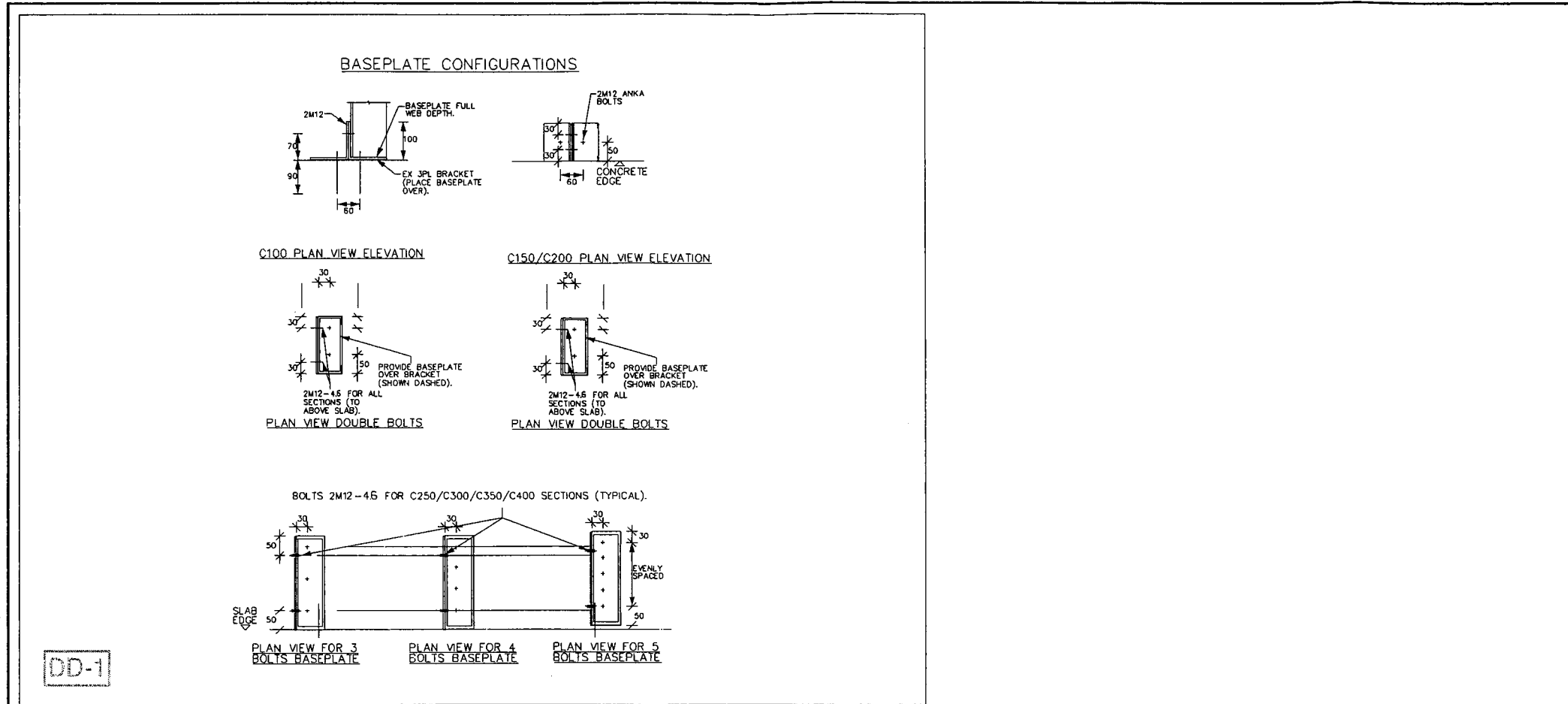
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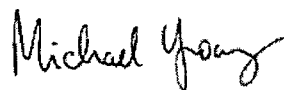


Shed Construction Plan View

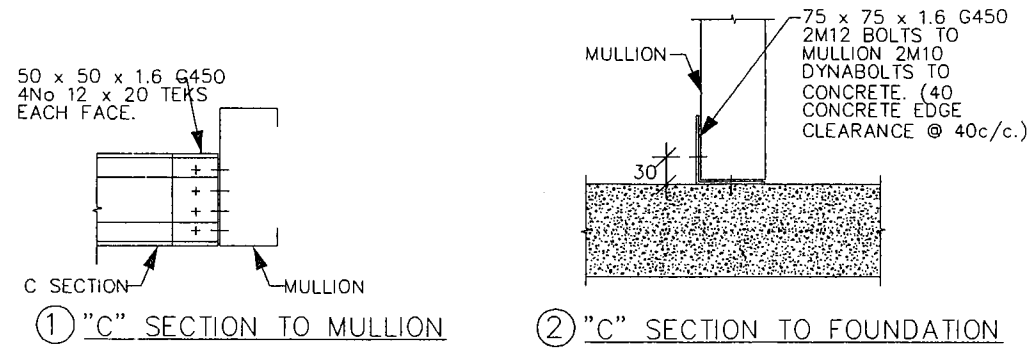
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	<i>Michael Young</i>	Shed Construction Plan View	Glenn Taylor
	Michael Young BE MIE (Aust) NPER CPeng (Aust)	62 Craddon Road OAKFORD 6121, WA	3/12/2013
			Scale 1:96 Erection Drawing

STEELbuilder (c) Program Plus Pty Limited - v 1.7.1.4025,1.7.1.4025 - sheds@shedplus.com.au



	Signed  Michael Young BE MIE (Aust) NPER CPeng (Aust)	Dwg No 11 of 22	Project No. WBS02_254814
		SHED CONNECTION DETAILS : 1 Glenn Taylor	
		62 Cradon Road OAKFORD 6121, WA	3/12/2013
		Scale 1:1	Erection Drawing

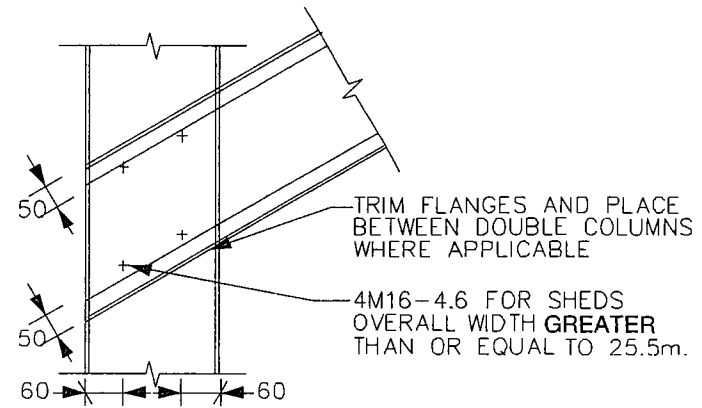
DOOR CONFIGURATIONS



DD-2

	Signed Michael Young BE MIE (Aust) NPER CPeng (Aust)	Dwg No 12 of 22	Project No. WBS02_254814
		SHED CONNECTION DETAILS : 2	Glenn Taylor
		62 Craddon Road OAKFORD 6121, WA	3/12/2013
			Scale 1:1 Erection Drawing

COMMERCIAL SHED BRACING



DD-3



Signed

Michael Young

Michael Young BE MIE (Aust) NPER CPeng (Aust)

Dwg No 13 of 22

SHED CONNECTION DETAILS : 3 Glenn Taylor

62 Craddon Road
OAKFORD
6121, WA

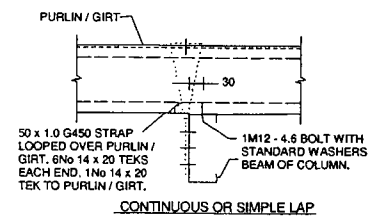
Project No. WBS02_254814

3/12/2013

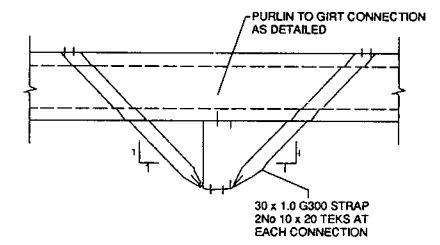
Scale 1:1 Erection Drawing

PURLIN / GIRT CONNECTION DETAIL


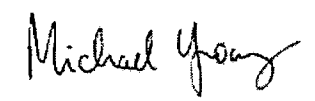
① Z150 PURLIN / GIRT



② FLYBRACE TO "C" OR "Z" SECTION

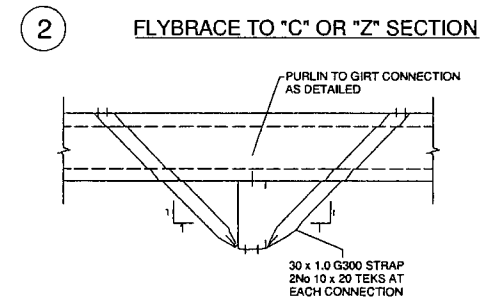
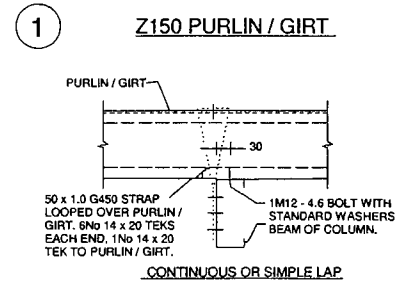


DD-4


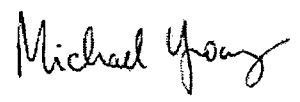
 <p>prompt certification Structural Engineers</p>	Signed	Dwg No 14 of 22	Project No. WBS02_254814	
		SHED CONNECTION DETAILS : 4	Glenn Taylor	
	Michael Young BE MIE (Aust) NPER CPeng (Aust)	62 Craddon Road OAKFORD 6121, WA	3/12/2013	
			Scale 1:1	Erection Drawing

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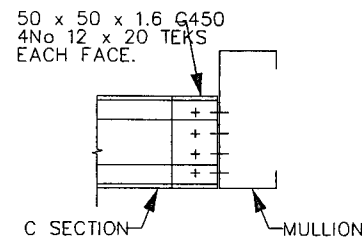
PURLIN / GIRT CONNECTION DETAIL



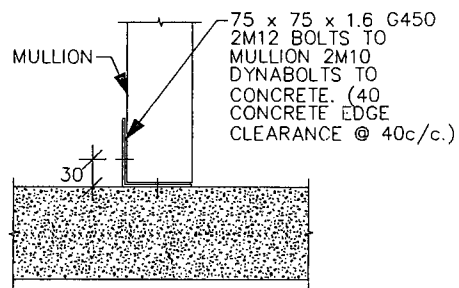
DD-5

 prompt certification Structural Engineers	Signed  Michael Young BE MIE (Aust) NPER CPeng (Aust)	Dwg No 15 of 22	Project No. WBS02_254814	
		SHED CONNECTION DETAILS : 5		Glenn Taylor
		62 Craddon Road OAKFORD 6121, WA		3/12/2013
				Scale 1:1

DOOR CONFIGURATIONS

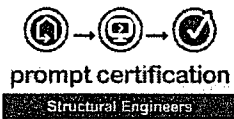


① "C" SECTION TO MULLION



② "C" SECTION TO FOUNDATION

DD-6



Signed

Michael Young

Michael Young BE MIE (Aust) NPER CPeng (Aust)

Dwg No 16 of 22

SHED CONNECTION DETAILS : 6 Glenn Taylor

62 Craddon Road
OAKFORD
6121, WA

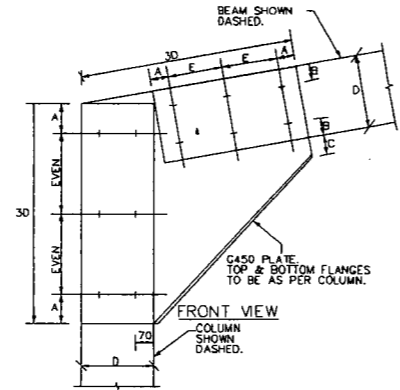
Project No. WBS02_254814

3/12/2013

Scale 1:1

Erection Drawing

TYPICAL HAUNCH CONNECTION



HAUNCH FASTENER DETAILS

SECTION	"A"	"B"	BOLT SIZE
C100	40	25	6M12x30-4.6
C150	40	25	6M12x30-4.6
C200	40	40	6M12x30-4.6
C250	40	40	6M12x30-4.6
C300	40	40	6M16x35-4.6
C350	40	40	6M16x35-4.6
C400	40	40	6M16x35-4.6

- NOTE:
1. SEE DETAILS FOR PURLIN & GIRT CONNECTIONS AT THIS LOCATION.
 2. DIMENSION C = 1/30.
 3. IF THE COLUMN AND BEAM HAVE DIFFERENT "D" DIMENSIONS USE THE BIGGEST VALUE OF "D" WHEN CALCULATING THE PLATE SIZE.
 4. USE TWO PLATES FOR BACK TO BACK SECTIONS.

DD-7



Signed

Michael Young

Michael Young BE MIE (Aust) NPER CPeng (Aust)

Dwg No 17 of 22

SHED CONNECTION DETAILS : 7 Glenn Taylor

62 Cradon Road
OAKFORD
6121, WA

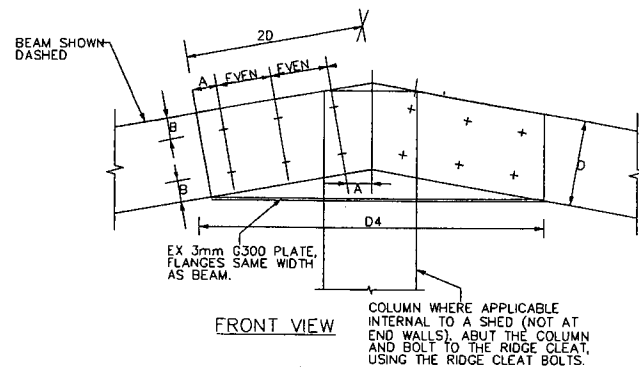
Project No. WBS02_254814

3/12/2013

Scale 1:1

Erection Drawing

TYPICAL APEX CONNECTION



APEX CONNECTION DETAILS

SECTION	"A"	"B"	BOLT SIZE
C100	40	25	6M12x30-4.6
C150	40	25	6M12x30-4.6
C200	40	40	6M12x30-4.6
C250	40	40	6M12x30-4.6
C300	40	40	6M16x35-4.6
C350	40	40	6M16x35-4.6
C400	40	40	6M16x35-4.6

DD-8



Signed

Michael Young

Michael Young BE MIE (Aust) NPER CPeng (Aust)

Dwg No 18 of 22

SHED CONNECTION DETAILS : Glenn Taylor

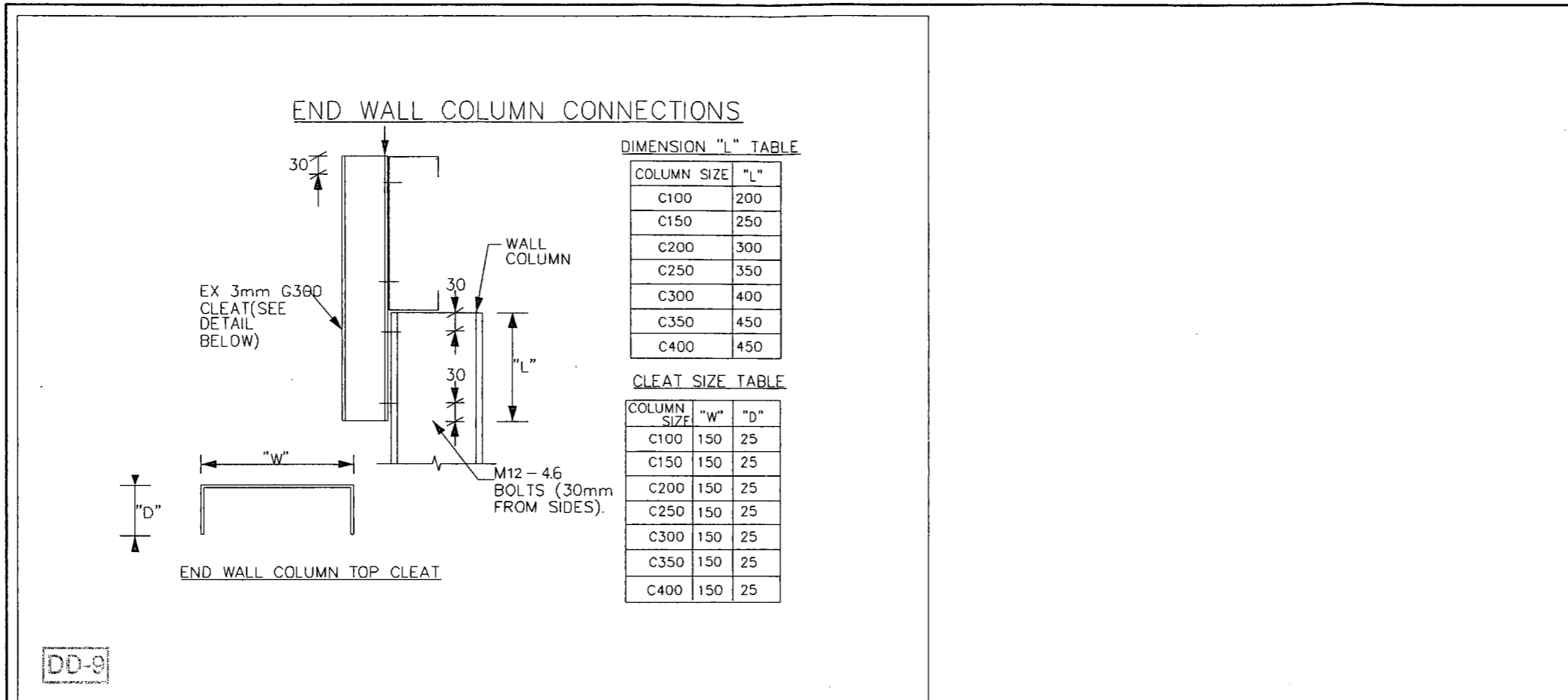
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OAKFORD
6121, WA

Project No. WBS02_254814

3/12/2013

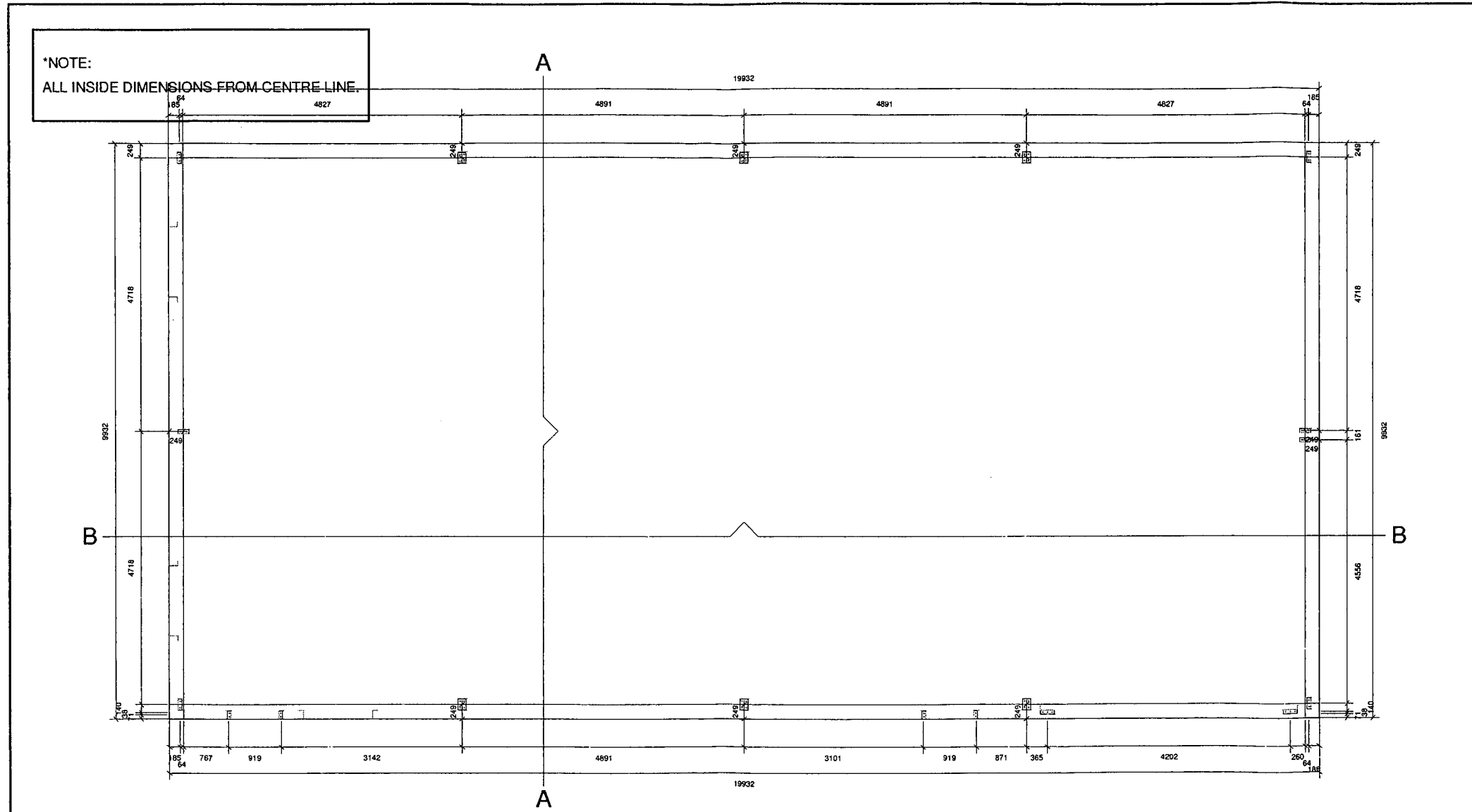
Scale 1:1

Erection Drawing

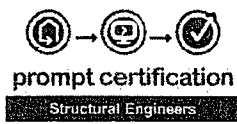


<p>prompt certification Structural Engineers</p>	Signed Michael Young BE MIE (Aust) NPER CPeng (Aust)	Dwg No 19 of 22 SHED CONNECTION DETAILS : 9	Project No. WBS02_254814 Glenn Taylor 3/12/2013 Scale 1:1 Erection Drawing
	62 Craddon Road OAKFORD 6121, WA		

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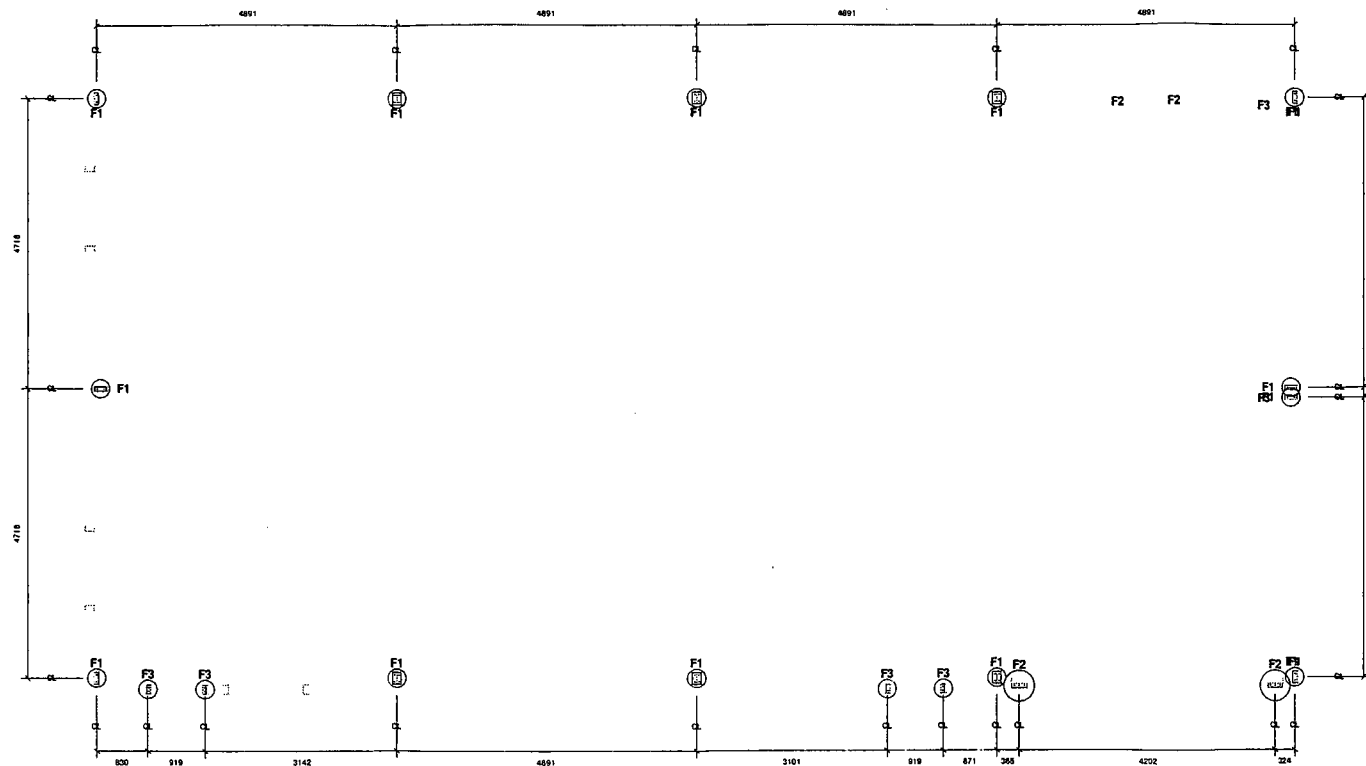


Shed Foundation and Bolt Plan

	Signed	Dwg No 20 of 22	Project No. WBS02_254814
	<i>Michael Young</i>	Shed Foundation and Bolt Plan	Glenn Taylor
	Michael Young BE MIE (Aust) NPER CPeng (Aust)	62 Craddon Road OAKFORD 6121, WA	3/12/2013
			Scale 1:92 Erection Drawing

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1. These details are suitable for satisfactory earthworks completed in accordance with the normal local site practice on sites classified as "A", "S", "M" and "E" in accordance with AS 2870. For soils "P" and "E" refer to a suitably qualified engineer.
2. Site classification to be confirmed by a local experienced person approved by the local building authority.
3. Prepare the site such that site general surface runoff cannot drain over or within 2.0m of the structure. Roof water and building apron runoff is to be drained away from the building.
4. Ensure the site slope conditions are stable. If in doubt, advice is to be obtained from the local building authority prior to starting earthworks. A geotechnical investigation by a qualified geotechnical engineer may be required by the local authority.
5. Do not undermine or surcharge any adjacent structures with this structure. Generally if a 1:1 line from the bottom of a foundation does not intersect any adjacent structure, or penetrate an adjacent slope, this provision is satisfied.
6. Foundation soil is to be clean natural ground or fill compacted over clear prepared natural ground. The level of compaction is to be sufficient to ensure a limit state bearing capacity of 150KPa and satisfactory building settlement.



Shed Foundation Detail Plan



Signed

Michael Young

Michael Young BE MIE (Aust) NPER CPeng (Aust)

Dwg No 21 of 22

Shed Foundation Detail Plan

62 Craddon Road
OAKFORD
6121, WA

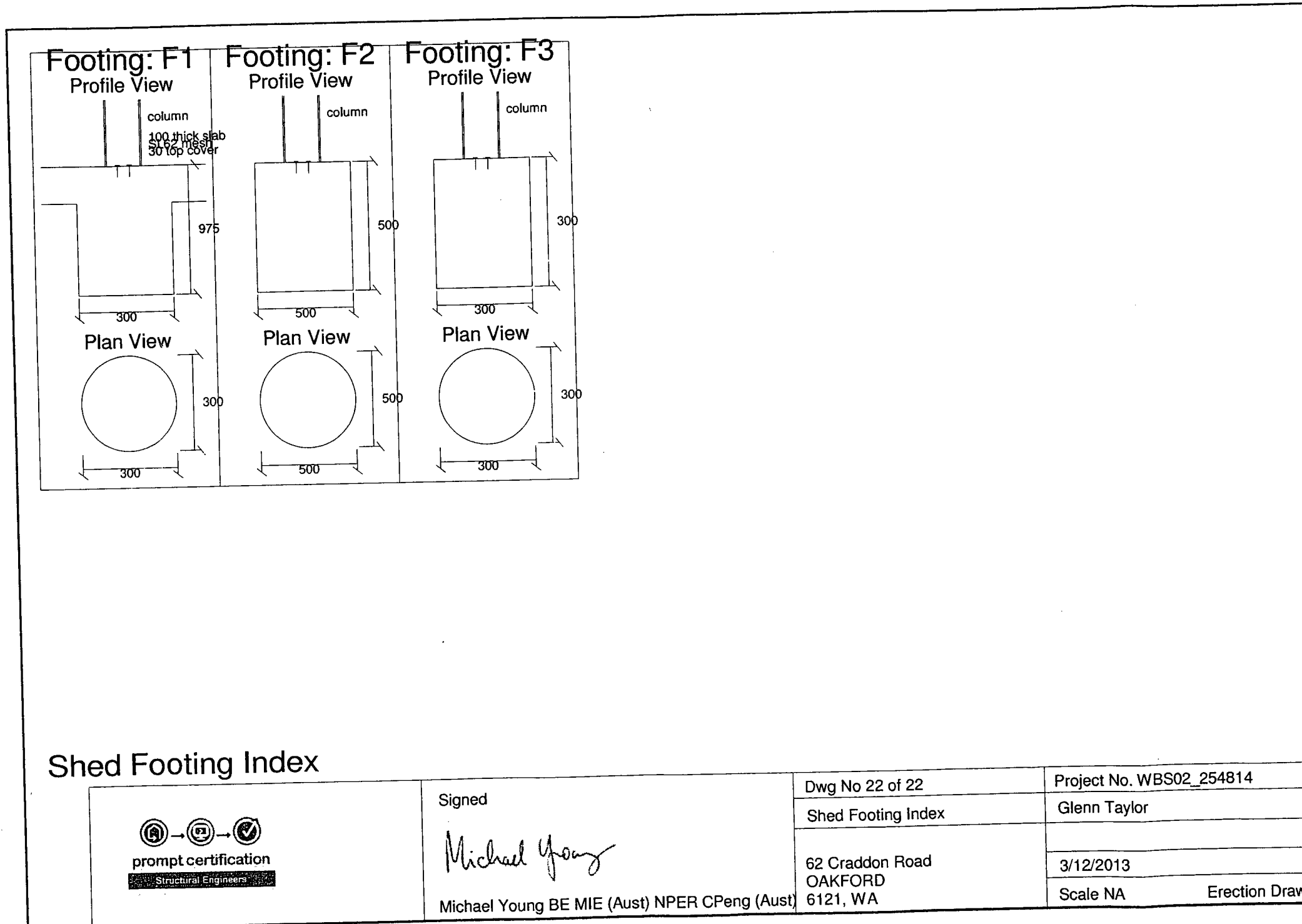
Project No. WBS02_254814

Glenn Taylor

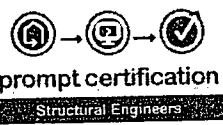
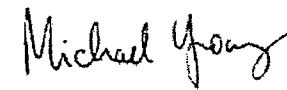
3/12/2013

Scale 1:123

Erection Drawing



Shed Footing Index

	Signed  Michael Young BE MIE (Aust) NPER CPeng (Aust)	Dwg No 22 of 22	Project No. WBS02_254814
		Shed Footing Index	Glenn Taylor
		62 Craddon Road OAKFORD 6121, WA	3/12/2013
			Scale NA Erection Drawing

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